

Suttons Beach Pavilion Strategic Assessment and Options Analysis

Prepared for Moreton Bay Regional Council

March 2023



© This contract has been prepared on behalf of, and for the exclusive use of Moreton Bay Regional Council, and is subject to, and issued in accordance with the provisions of the contract between CPM Advisory and Project Management and Moreton Bay Regional Council.

Project No	S2198
Document Title	Suttons Beach Pavilion Strategic Assessment and Options Analysis
Document No	1
Revision	A
Date	28/02/2023
Client Name	Moreton Bay Regional Council
Client Contact	Amanda Creevey, Director Infrastructure Planning
Author	MBRC/CPM

Document history and status

Revision	Date	Description	By	Review	Approved
Revision A	28/02/2024	SAOA	MBRC/CPM		

Contents

Executive summary	8
1 Background	20
1.1 Proposal context.....	20
1.2 Purpose	20
1.3 Project site.....	21
1.4 Report limitations	22
2 Governance.....	24
3 Methodology.....	25
3.1 Strategic Assessment	25
3.2 Options Analysis.....	25
3.3 Recommendation of Options.....	25
4 History of the site	26
4.1 Alterations, additions and changes of use	27
4.2 The rotunda	29
5 Expert investigations	31
5.1 Cultural heritage value	31
5.2 Structural engineering reports.....	38
6 Stakeholder Engagement.....	42
6.1 Identifying stakeholders	42
6.2 Stakeholder engagement.....	42
6.3 People movement patterns and trends	45
6.4 Summary	46
7 Complexity of the Site	48
7.1 Significance of the place	48
7.2 Site suitability	48
7.3 Amenity provision for park users.....	49
7.4 Accessibility.....	49
7.5 Future proofing for seaside hazards	50
7.6 Urgency of reactivation	50
8 Problems and Service Needs.....	51
8.1 Approach	51
8.2 Council's outcomes	51
8.3 Problems and service need response.....	52
9 Targeted benefits	54
9.1 Approach	54
9.2 Benefits identification	54
10 Base case.....	55
11 Potential solutions	56

11.1	Approach	56
11.2	Potential building treatments	56
11.3	Potential solutions list.....	57
12	Options longlist.....	59
12.1	Assessment outcome	59
12.2	Final Options Longlist.....	60
13	Options shortlist	62
13.1	Approach	62
13.2	Multi-criteria analysis (MCA)	63
13.3	Service needs and criteria.....	63
13.4	Informing the MCA	64
13.5	Analysis outcomes	66
14	Risks.....	71
14.1	Overall approach to risk	71
14.2	Key Risks	71
15	Commercial considerations.....	72
16	Legal and regulatory considerations	73
16.1	Planning Considerations	73
16.2	Cultural heritage values	73
16.3	MBRC Planning Scheme Details	73
16.4	Summary	75
16.5	Native title and cultural heritage considerations	76
16.6	Other Considerations	76
17	Stakeholder and community engagement requirements	78
18	Sustainability assessment.....	79
18.1	Approach	79
18.2	Key points.....	79
19	Recommendations	80
	Appendix 1: 1937 Suttons Beach Bathing Pavilion plans	81
	Appendix 2: Known changes to 1937 Suttons Beach Bathing Pavilion.....	82
	Appendix 3: Hierarchy of significant elements at the Suttons Beach Pavilion.....	83
	Appendix 4: Audit summary of Suttons Beach Pavilion defects	84
	Appendix 5: Building concepts	85
	Appendix 6: References.....	86
Table of Figures		
	Figure 1: Suttons Beach Park	21
	Figure 2. SBP and SBP complex	22
	Figure 3. Governance model	24
	Figure 4. Key stages of SAOA as options for SBP are narrowed down	25
	Figure 5. Suttons Beach – private bathing sheds and the first kiosk.....	26

Figure 6. Original Suttons Beach Bathing Pavilion	27
Figure 7. Suttons Beach Pavilion c.1975 to c.2022	29
Figure 8. The Rotunda viewed from the east (TripAdvisor).....	30
Figure 9. Heritage listed P1 (Image: Mode, 2022).....	32
Figure 10. Extent of the original building fabric (Source: Moreton Bay Regional Council).....	34
Figure 11. Location of curved walls	35
Figure 12. Location of significant elements around the settings of the pavilions (Converge heritage + community, 2020 (MBRC2006:8))	36
Figure 13. Location of significant elements at the ground floor and level 1.....	37
Figure 14. Direction of water flow during rain events (surface and subsurface).....	41
Figure 15. Survey feedback on the importance of utilities or services at Suttons Beach Park	43
Figure 16. Segmentation of areas of interest at the site (People Movement Data Analysis – Moreton Bay Regional Council Economic Intelligence Branch, 2022).....	45
Figure 17. Dominant gravitational pull of Suttons Beach Pavilion (People Movement Data Analysis – Moreton Bay Regional Council Economic Intelligence Branch, 2022)	46
Figure 18. Place of potential solutions in options identification process.....	56
Figure 19. Different treatments that could be applied to the existing buildings	57
Figure 20. Place of the longlist in options identification process	59
Figure 21. Place of the shortlist in options identification process	62
Figure 22. Results of the multicriteria analysis - Bar graph	67
Figure 23. Area of interest.....	74

Table of Tables

Table 1: Suttons Beach Pavilion Use History	28
Table 2: Statement of significance.....	33
Table 3. Extant (surviving) elements of the 1937 building	34
Table 4. Criteria for significance hierarchy.....	36
Table 5: Updated statement of significance.....	38
Table 6. Council's priorities expressed as goals and outcomes as per the Corporate Plan	52
Table 7. Key problems and service need response.....	53
Table 8. Benefits identification	54
Table 9. Potential solutions	58
Table 10. Potential solutions	60
Table 11. Final options longlist	61
Table 12. Alignment of MCA criteria with service needs	64
Table 13. Capital and Indicative Whole of Life, Indicative Probable Order of Cost.....	65
Table 14. Assessment criteria.....	65
Table 15. Assessment criteria scoring framework	66
Table 16. Multicriteria analysis results	67

Acronyms and Definitions

AHD	Australian Height Datum
BCDF	Business Case Development Framework
BCR	Benefit Cost Ratio
Benefit	A measurable improvement resulting from an investment perceived as an advantage by one or more stakeholders. Benefits might initially be stated in terms of the outcomes sought in response to a problem or opportunity or, in reference to the options, the potential benefits that will occur from one or more options.
Burra Charter	The Burra Charter: the Australian International Council on Monuments and Sites (ICOMOS) Charter for Places of Cultural Significance, 2013 and the associated series of Practice Notes provide a best practice standard for managing cultural heritage places in Australia.
CEO	Chief Executive Officer
Covey Report 2022	Suttons Beach Pavilions Structural Investigation Report by Covey Associates P/L, 22 December 2022.
DFE	Defined Flood Event
Disbenefit	Adverse impact illustrated through a measurable decline resulting from a negative consequence of implementing a particular solution.
FPL	Flood Planning Level
GFA	Gross Floor Area
Indicative Probable Order of Costs	The Indicative Probable Order of Costs is intended as a guide for feasibility and planning purposes only. It is not an estimate but is recognised in the Australian Institute of Quantity Surveyors Cost Management Manual - Volume 6 as "Stage A - Brief Stage Cost (Indicative Cost)". The cost accuracy range for a Project at Stage A is typically -25 to +50%.
MBRC	Moreton Bay Regional Council
NPV	Net Present Value
P1	Pavilion 1: part of Suttons Beach Pavilion. Southern structure containing the original fabric of the 1937 Suttons Beach Bathing Pavilion
P2	Pavilion 2: part of Suttons Beach Pavilion. Function centre to the north of P1
PSC	Project Steering Committee
PWG	Project Working Group

SAOA	Strategic Assessment and Options Analysis
SBP	Suttons Beach Pavilion (includes P1, P2, link slab, rotunda and complex pathways and access stairs. Note: for the purposes of this SAOA, all references to the Suttons Beach Pavilion complex exclude the access stairs from Marine Parade.)
SBPPG	Suttons Beach Pavilion Preservation Group (a community interest group)
SLSC	Surf Life Saving Club
SLSQ	Surf Life Saving Queensland
Suttons Beach Bathing Pavilion	Suttons Beach Bathing Pavilion is the original structure opened in 1937
Suttons Beach complex	Suttons Beach Pavilion (SBP) excluding the access stairs from Marine Parade

Executive summary

This Strategic Assessment and Options Analysis (SAOA) explores the problems, service needs and targeted benefits for Suttons Beach Pavilion (SBP). It then applies an analytical methodology to move from potential solutions to a longlist of options and then to a shortlist of options, before making final recommendations for future uses of the site for decision makers to consider.

Background

Today, Suttons Beach Pavilion (SBP) is comprised of Pavilion 1 (P1), Pavilion 2 (P2), link slab, access stairs from Marine Parade, rotunda and associated landscaping. For the purposes of this SAOA, references to the SBP complex exclude the access stairs from Marine Parade.

In 2021, Moreton Bay Regional Council (Council) made the decision to not renew the tenant's lease and to close SBP. Council's decision was due to independent technical/engineering consultants' advice that pointed out the seriously deteriorating condition of the buildings, concerns with the structural integrity of key building components, increased concerns about public safety for staff and the wider public, and the need to undertake comprehensive testing to conclusively determine the structural condition of the buildings. In February 2022, with the expiry of the lease, the building ceased to provide services to the public.

There has been a significant community response to the closure. Some strong community dissatisfactions have been put forward about the perceived loss of amenity, perceived loss of cultural and heritage values and concerns for the future of SBP and amenity to be provided at the site.

Until Council fully considers the invasive testing findings in the Covey Associates P/L report of 22 December 2022 (Covey Report 2022) there remain three possible options for the future of the buildings under consideration:

- fully rectify/refurbish
- partially demolish and partially retain with rectification and refurbishment
- demolish and replace.

Regardless of the future of the buildings, the Local Government Act 2009 requires that Council must deliver an outcome that provides direct community benefit in a fiscally accountable and responsible way. This means any facility(s) and/or infrastructure provided by Council at Suttons Beach Park must have functional design that supports feasible, sustainable, and relevant operations and activations for the growing Moreton Bay Region communities and visitors from other places.

In addition, there are important strategic, community and cultural and heritage considerations which need to form part of any future decision-making process including:

- alignment with relevant Council goals, strategies and key plans
- community needs, particularly as reflected in the community survey and other engagement activities undertaken
- cultural heritage and history of Suttons Beach Park
- provision of safe and inclusive access for people of all abilities
- Council's approved budget for capital works and maintenance within a regional context and
- an appropriate fit with the 'consistent uses' of the 'Recreation and Open Space' zoning for Suttons Beach Park.

Governance

Council recognised the importance, history and complexity of the SBP and Suttons Beach Park area to the community and the following governance arrangements were put in place for this SAOA. Council was responsible for this SAOA as the project owner.



Governance model

The Project Steering Committee (PSC) provided valuable input and guidance for the SAOA in the following areas:

- strategic direction
- historical information
- comment and/or endorsement of key SAOA elements
- review of the SAOA and recommendations to the project leader.

The Project Working Group (PWG) provided guidance, direction, and review to ensure the project analysis was in-depth, relevant and aligned with project objectives. Valuable input and guidance were provided by the PWG to develop project context and service need, define benefits sought, generate potential solutions and options, and assess the options based on defined criteria.

Methodology

This SAOA generally followed the processes outlined below:

1. Strategic Assessment
2. Options Analysis
3. Recommendations for further development.

History of Site

Suttons Beach Bathing Pavilion was opened in December 1937 replacing the previous 1906 kiosk and bathing house infrastructure. This new two-storey bathing pavilion, pictured below, featured a kiosk, café, dressing room, lockers, toilets and showers.



View from south of the original SBP (MBRC Image 25624_RMPC-100-100837)

The original construction of SBP included stairs from Marine Parade comprising:

- entrance and fence at Marine Parade
- upper steps
- upper terrace
- steps leading diagonally to the north side of the pavilion
- steps leading diagonally to the south side of the pavilion.

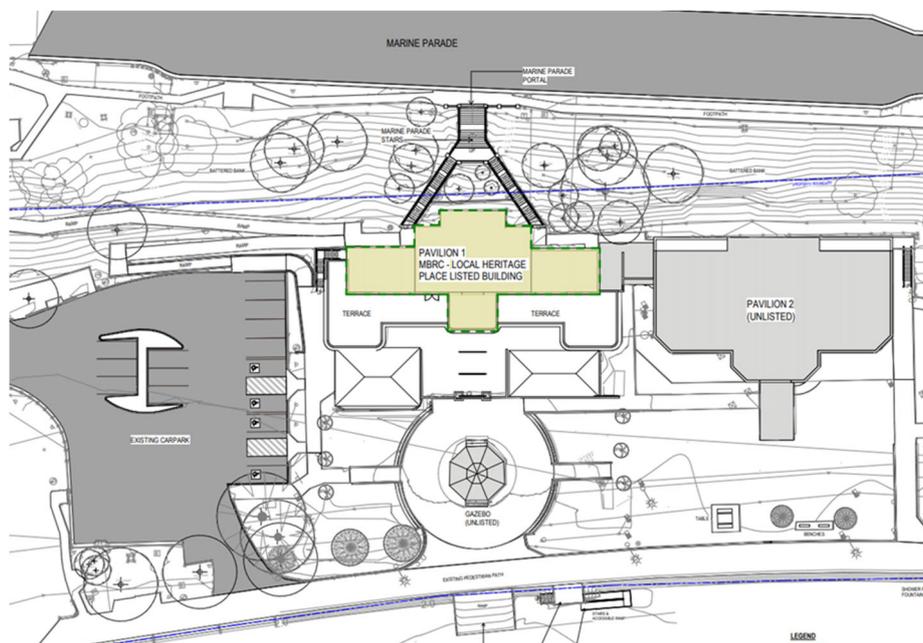
Since its construction, SBP has undergone three changes of use (bathing pavilion, museum, and food and beverage establishment) and been managed under several different leases.

Timeframe	Commercial lease	Establishment name	Use
1937 – c.1975	Lessee 1	Suttons Beach Bathing Pavilion	Bathing pavilion with kiosk and café
1975 – c. 1999	Lessee 2	Redcliffe Historical Museum	Museum
2000 – 2005	Lessee 3	Sam's Seafood	Restaurant, café, fish and chipper, function centre (P2) built by Sam's Seafood c.2002
2005			Sam's Seafood placed in receivership, Redcliffe City Council buys SBP complex
2006 – c.2014	Lessee 4	Sails Restaurant and Function Centre	Restaurant (casual and fine dining) and function centre (P2)
2015 – 2017	Lessee 5	Pilpel By the Sea	Restaurant (casual and fine dining) and function centre (P2)
2017 – Feb 2022	Lessee 6	Suttons Beach Pavilion	Restaurant (casual and fine dining) and function centre (P2)

History of uses of SBP

Expert Investigations - Heritage

From its original form, SBP has been altered, expanded and renovated over the years. P1, containing the former Suttons Beach Bathing Pavilion, is listed on the MBRC local heritage register (ID#88) while P2, constructed c.2002 as a two-storey function centre, is not of cultural heritage significance.



Suttons Beach Pavilion (Source: Mode, 2022)

Since 2018, Council has commissioned three reports to investigate the cultural heritage values of SBP. These detailed reports by two separate consultants document key cultural heritage aspects related to SBP including:

- extensive modifications made to the original 1937 bathing pavilion since 1975
- identification and hierarchy of significant elements in the former bathing pavilion (P1)
- recommendations for conservation management, including guidance and principles provided by the Burra Charter
- statutory obligations and maintenance of significant elements.

The reports refer to the current SBP as “substantially altered” from the original building. Most of the exterior of the building complex is described as “modern fabric designed to mimic an art deco period style” and consisting largely of “blue board cladding” and “applied polystyrene decorative motifs”.

The Converge Heritage + Community (2018) report informs, in terms of the heritage significance of the setting of SBP, P1 is rated Low, reflecting the significant change in appearance from the 1937 design. The stairs from Marine parade are largely original fabric and are classified as Exceptional. P2 and the outdoor eating areas are described as Intrusive due to impacts on the symmetry, dominance and integrity of the original P1 and other factors.

The rotunda (gazebo) is also described as Intrusive, interrupting the view to the pavilion from the beach and, as “faux heritage”, since it depicts the wrong year of its construction (Victorian era in contrast to its 1998 construction date). An assessment of the significance of remaining elements of P1 identified the remaining level 1 western wall and parts of the level 1 north and south walls as of High significance. All other extant elements on level 1 and the ground floor were rated as of Low or Moderate significance.

In relation to the Statement of Significance from the MBRC local heritage register and specifically in reference to the criteria drawn from the Queensland Heritage Act 1992, the heritage assessment of P1 details two of 8 possible criteria as still relevant, namely:

A: If the place is important in demonstrating the evolution or pattern of the region's history.

G: If the place has a strong or special association with a particular community or cultural group for social, cultural, or spiritual reasons.

However, in anticipating a new development at the site the report also states that:

If the existing building is demolished in the future, any new development on the site should ensure the character of the foreshore is not impacted. It's not necessary, or recommended, to build a replica pavilion. However, details such as current setback and the original size and bulk of the former bathing pavilion should be respected and considered for new developments.

The second heritage consultant, in a Cultural Heritage Impact Assessment of the site in early 2022, concluded that

“development of the site, (including demolition of the buildings) will not result in the loss of any particular heritage values since, on further assessment, the buildings have insufficient cultural heritage significance to warrant retention, except for the associated Marine Parade stairs, which are proposed to be retained.”

Should demolition of the site be required as part of approved future works, advice provided by Council's Development Services Department in 2020 details that PO82(a) of the Planning Scheme would require additional supporting information that demonstrated the building is structurally unsound AND is not reasonably capable of economic repair.

Expert Investigations - Structural Engineering

This document relies on data and expert technical advice from detailed investigations into the condition of SBP conducted between 2012 and 2021 by specialist consultants. The scope of these reports covers:

- general building condition
- structural condition
- type and location of defects
- options to rectify defects including water ingress and drainage issues
- ground conditions and allowable bearing capacity of soils at the site (geotechnical data)
- quantity surveying to develop Indicative Probable Order of Costs for defect rectification.

Consultancies that undertook this work and the year of their investigations are:

- Stephen Waite Consulting — 2012
- FSA Consulting Engineers P/L — 2016,2017 (3),2019 and 2020
- Proactive Quantity Surveying — 2017, 2021
- BE Collective — 2020
- Covey Associates P/L — 2020
- GHD — 2020.

While SBP suffers from a complex range of defects, technical reports from the last 10 years frequently mention prolonged water ingress and widespread water proofing failures as major contributors to failures in structural and non-structural components of P1 and non-structural components of P2. However, technical reports describe a range of other factors that contribute to the current state of SBP including:

- the age of the original building fabric
- poor quality design and construction
- P1's location against western cliff face and failed surface/subsurface water drainage
- multiple waterproofing failures in the external cladding system

- prolonged water ingress into internal spaces causing corrosion of reinforcement, corrosion of structural steelwork and fungal rot of framing timbers
- exposure to the harsh marine environment
- non-compliance with contemporary building standards.

Investigations have largely focussed on Pavilion 1, and the link structure between Pavilions 1 and 2. Appraisal of the condition of P1 has been complicated by the alterations and additions the structure has undergone to accommodate different uses.

P2, constructed in 2002, is now halfway through its projected building life and the investigations have identified numerous defects in the building, however none impact its core structural integrity.

The water ingress through the rear western wall of P1 has been a pervasive issue for several years causing serious defects inside the building. Due to building design, location and potential heritage impacts, engineering investigations to date have not provided a feasible and guaranteed option to waterproof the rear wall.

In May 2022, Council contracted Covey Associates P/L, an engineering consultancy, to undertake invasive and non-invasive building testing at SBP. The report of findings (Covey Report 2022) was completed on 22 December 2022.

Stakeholder Engagement

In late 2021 and early 2022, Council undertook extensive engagement with community, local business, park user and local interest groups to better understand views on the site, how visitors use Suttons Beach Park and to seek feedback on the type of future services/ utilities community would value at the site and park.

The findings of the 2022 Suttons Beach Public Space Project – Community Survey (community survey) in relation to SBP and Suttons Beach Park identified strong support for:

- public toilets
- places to purchase food and drink
- social amenities (grass and shade for picnics, picnic tables, BBQs)
- Council spending ratepayers' money on constructing replacement buildings
- retaining the rotunda.

The study also highlighted the connections that residents from the Redcliffe Peninsula and other parts of the region have to Suttons Beach Park and SBP and strong support for restoring the existing SBP or building new structures that reflect the original 1930s building design.

In addition to the community survey, Council conducted a people movement study focussed on visitations to the SBP site. The study found about 60% of visitors originated from Moreton Bay region and a further 25% from Brisbane. The northern suburbs of Brisbane provide the highest concentration of visitors from Brisbane City Council as illustrated in the gravitational pull catchment map below.



Dominant gravitational pull of Suttons Beach Pavilion (Source: MBRC, 2022, Suttons Beach Pavilion – People Movement Patterns and Trends)

The study also indicated Redcliffe residents accounted for only 6% of visitations while the total number of home locations for visitors amounted to 324 suburbs, reflecting the attraction of Suttons Beach to intra-regional visitors from diverse locations.

Feedback from Council's engagement with the Redcliffe Chamber of Commerce and the Redcliffe Historical Society aligned with the community survey results in terms of support for food and beverage to continue to be available at the site. Coffee, fish and chips and ice-cream were suggested as well as the comment that these could be 'simple' and 'modest'. Suttons Beach Pavilion Preservation Group (SBPPG) provided feedback that SBP should be preserved for its cultural heritage value and that refurbishment was the strongly favoured option while acknowledging updated structural testing would provide more detail as to the viability of this option.

Complexity of the Site

The site of SBP within Suttons Beach Park presents complex challenges for any refurbishment/rebuild that may be undertaken in the future.

These complexities include:

- significance of the place to the community
- site suitability
- amenity provision for park users
- accessibility
- limited car parking and public transport
- future proofing for the seaside hazards
- urgency of reactivation.

These complexities extend beyond the existing buildings and were considered as part of the multi-criteria analysis done to refine the options longlist to the options shortlist (Section 13). These complexities will remain a key consideration for any option/s that are progressed.

Problem Statements and Service Need

The process to identify specific problems and service needs for SBP within Suttons Beach Park involved the following:

- review of expert investigations

- review of community and stakeholder engagement findings
- internal discussions with subject matter experts within Council
- assessment of planning requirements including assessment benchmarks
- Review of Council Corporate Plan and alignment with Council's Outcomes.

From this analysis, the PWG was able to define the problem statements and the suggested service need response. The problem statements and service need responses were refined with input from the Project Steering Committee and are presented in the table below.

Problem statement 1	Deteriorating condition of SBP resulting in safety, operating and maintenance risks
Service need response	Responsible investment of ratepayers' money that delivers infrastructure that is sustainable to maintain and operate, and is fit for purpose
Problem statement 2	Closure of the building resulting in reduced amenity for community
Service need response	Deliver amenities which respond to community need and delivers community benefit
Problem statement 3	Potential demolition of buildings resulting in perceived loss of cultural heritage value, history, and community connection to site
Service need response	Delivery of infrastructure that respects the cultural heritage value, history and community connection to the site

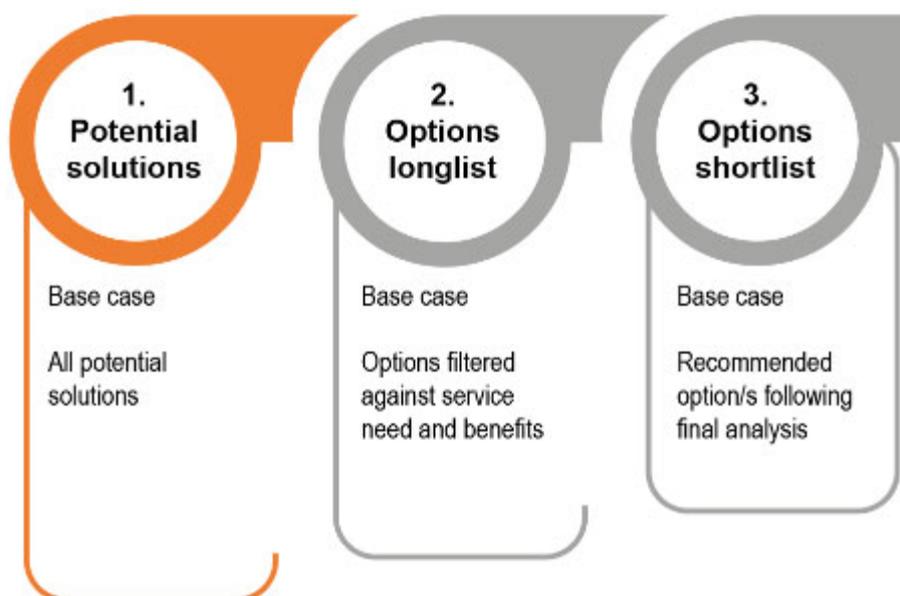
Targeted Benefits

The targeted benefits a solution should provide were assessed against the service need by the PWG, reviewed by the PSC and are summarised below.

- a solution that meets potential funding opportunities
- be compliant with national codes and standards
- be sustainable to maintain and operate and resilient to the marine environment
- provide a safe, accessible, and inclusive environment for all visitors and be complimentary to existing accessible park facilities
- enhanced public toilets and changing areas
- provision of hospitality spaces which are consistent with the environment and add to amenity
- design that responds to actual community need which increases utilisation
- cultural heritage and history of site is respected, and community connection is enhanced by reflecting feedback.

Base Case and Potential Solutions

Identifying potential solutions was the first stage of determining a recommended option/s for SBP.



Place of potential solutions in options identification process

To identify potential solutions the following analysis was undertaken:

- explore potential treatments of the existing buildings
- determine which treatments could be progressed to the next stage
- identify alternatives beyond refurbishing the existing buildings.

Table of Potential Solutions below summarises the list of identified potential solutions and provides a brief description of the solution.

All potential solutions retain the existing access stairs linking SBP to Marine Parade and include public toilets and change rooms with a changing places facility.

Table of Potential Solutions

No.	Potential solution	Description
1	Refurbish P1 and P2 (Base case)	Refurbish P1 and P2 in same style and architectural design, and same functionality as current complex
2	Demolish and rebuild P1 and refurbish P2	Demolish and rebuild P1 in same style and refurbish P2 with same functionality as current complex
3	Demolish existing complex, build Surf Life Saving Club	Demolish existing complex, build Surf Life Saving Club including hospitality spaces and functions rooms
4	Demolish existing complex, build new structure with public amenities, hospitality spaces on ground floor and flexible function spaces above	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings on ground floor and flexible function spaces with a commercial kitchen above.
5	Demolish existing complex, build new structure with public amenities, hospitality spaces and 'rooftop' public space	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings on ground floor, second level for 'rooftop' public space.

6	Demolish existing complex, build new structure with public amenities and hospitality spaces, ground level only	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings, ground level only. Future proof for additional level to be added later.
7	Demolish existing complex, build new structure with public amenities and prefabricated building modules for hospitality	Demolish existing complex, build public amenities and prefabricated building modules with kitchen facilities to enable food and beverage offerings (e.g. coffee, ice creamery, fish and chip shop)
8	Demolish existing complex, build new structure for public amenities and All Abilities Playground	Demolish existing complex, build public amenities, All Abilities Playground and landscape public open space with activation sites for coffee/food trucks
9	Demolish existing complex, build new structure for public amenities only	Demolish existing complex, build public amenities and landscape public open space with activation sites for coffee/food trucks

Options Longlist

Moving from the potential solutions to the options longlist was the second stage of determining recommended option/s for SBP. The options longlist was generated by:

- reviewing the list of potential solutions and consulting within the PWG and subject matter experts to refine potential solutions into options
- reviewing previous Council option assessments
- discounting solutions that were considered not viable due to regulatory or site constraints
- reviewing the solutions against the service need and benefits.

Potential Solutions 7 and 8 did not progress to the options longlist:

- Potential Solution 7 was disregarded as it was unlikely to increase utilisation of the area as it did not respond to actual community needs.
- Potential Solution 8 did not progress to the longlist of options as it largely duplicates Potential Solution 9, with the exception of the All Abilities Playground, which can be revisited separately by Council in the future if demand exists for such a facility in this location. A new facility with universal access, coupled with the existing beach access ramp and beach matting would potentially make Suttons Beach a flagship in terms of disability access and support its Accessibility Precinct designation and Council priorities.

Options Shortlist

To progress from the options longlist through to the options shortlist, a multi-criteria analysis (MCA) was undertaken to ensure a direct link between the service need (Section 8) and benefits (Section 9).

MCA is an analysis process that scores options against multiple criteria linked to the service need and problem statements. The MCA provides a way of analysing options against impacts that are important to decision-makers but that cannot be readily quantified and costed.

As part of the MCA, Indicative Probable Order of Costs and Indicative Probable Whole of Life Costs were considered. The table below details the longlist of options, the aforementioned costs and the total score for each based on weighted assessment criteria ratings.

Summary of Indicative Probable Order of Costs and MCA score

No.	Option Description	Indicative Probable Order of Costs (\$m)	Indicative Probable Whole of Life Costs (\$m)	MCA score
1	Refurbish P1 and P2 (Base case)	\$16 - \$22	\$60.5M	40
2	Demolish and rebuild P1 and refurbish P2	\$10M - \$20M	\$48.2M	50
3	Demolish existing SBP complex, build Surf Life Saving Club	\$9.4M - \$18.8M	\$38M	60
4	Demolish existing complex, build new structure with public amenities, hospitality space on ground floor and flexible function spaces above	\$12.2M - \$24.5M	\$49.1M	58
5	Demolish existing complex, build new structure with public amenities, hospitality spaces and 'rooftop' public space	\$6.7M - \$13.5M	\$27.3M	74
6	Demolish existing complex, build new structure with public amenities and hospitality spaces, ground level only	\$6.3M - \$12.6M	\$21.5M	78
9	Demolish existing complex, build new structure for public amenities only	\$4.6M - \$9.2M	\$11.5M	73

Option 6 scored highly in the MCA and the option is consistent with the Open Space and Recreation zoning of Suttons Beach Park while still enabling the provision of relatively modest food and beverage service as requested by the community. As a new build, high standards of accessibility can be incorporated into the design.

Option 5's score was impacted by the Council's experience with other rooftop facilities and the additional maintenance and security required to operate them. A lift will be required to meet accessibility codes. The rooftop areas or viewing platforms provide great amenity for the community but unfortunately have also attracted anti-social behaviour at other comparable sites.

Option 9's score is the next highest of the options. The lack of permanent food and beverage services is the main unfulfilled benefit of this option. A lack of permanent food and beverage services doesn't meet community needs nor does it respect the context as the original 1937 Suttons Beach Bathing Pavilion included a kiosk and cafe.

Options 1 and 2 which included refurbishment of P1 and/or P2 scored lower than the other options assessed. This was due to lower scores for rectification of defects, maintenance and operation and strategic alignment with Council outcomes.

Risk

This SAOA recognises risks associated with the development options at the SBP site.

Key risks identified with a high initial risk rating included:

1. Project could cost more to deliver than any approved budget
2. Council currently has no provision in the forward budget to fully fund refurbishment or replacement of SBP
3. The recommended option does not meet all community expectations
4. It may not be commercially viable to operate a hospitality venue at the site

5. The time required to complete refurbishment, demolition, or construction at the SBP complex may create a lengthy period of loss of amenity and community dissatisfaction.

Recommendations

Recommendations based on SAOA findings are as follows:

Recommendation 1: Do not further develop the Base Case - Option 1 to refurbish the existing SBP complex.

Recommendation 2: Further develop Options 5 and 6 and develop a detailed business case to inform a final investment decision by Council.

The items for completion during the development of the detailed business case include:

- planning assessment for the recommended options
- commercial viability assessment for hospitality options
- seek funding for the project from sources external to Council
- develop design concepts for the recommended options for consultation
- community consultation on the options
- select a recommended option for detailed design
- develop and implement a plan to provide public amenities whilst the permanent solution is developed and delivered
- develop a procurement strategy and appropriate delivery methodology
- assess the risks and opportunities and develop and implement mitigations and controls.

Recommendation 3: When assessing the surrounding parkland and site use Council should consider a complimentary All Abilities Playground at Suttons Beach Park to support the area's designation as an Accessibility Precinct, and Council priorities.

Recommendation 4: The building concepts consider accessible access and respect both the cultural heritage of the 1937 bathing pavilion and that of Suttons Beach Park to maintain/enhance important community connections. Considerations include:

- building connectivity with the park
- integration with Marine Parade stairs
- cultural history of Suttons Beach
- activity and celebration spaces
- landscaping and ancillary buildings
- view corridors.

Recommendation 5: Building concepts consider demolition of the existing rotunda and replacing it with a more fitting structure in a better location. It is acknowledged the community values the attributes of the rotunda but the following reasons support demolition of the existing rotunda:

- it has no authentic heritage values
- the marine environment has caused substantial deterioration of the structure since its construction in 1998
- retaining the rotunda in the current location would significantly impact sight lines, new build aesthetics, landscaping options and benefits that the space it occupies can potentially provide
- the structure isn't representative of the architectural form at its time of construction (1998) or sympathetic to its surrounds.

Recommendation 6: The stairs to Marine Parade are retained in any future development. The heritage value has been assessed by heritage specialists as Exceptional.

1 Background

1.1 Proposal context

In 2021, Council made the decision to not renew the tenant's lease and to close the Suttons Beach Pavilion (SBP). Council's decision was due to independent technical/engineering consultants' advice that pointed out the seriously deteriorating condition of the buildings, concerns with the structural integrity of key building components, increased concerns about public safety for staff and the wider public, and the need to undertake comprehensive testing to conclusively determine the structural condition of the buildings. In February 2022, with the expiry of the lease, the building ceased to provide services to the public.

There has been a significant community response to the closure. Some strong community dissatisfactions have been put forward about the perceived loss of amenity, potential loss of cultural and heritage values and concerns for the future of SBP and future amenity to be provided at the site.

Until Council considers the invasive testing findings in the Covey Report 2022 there remain three possible options for the future of the buildings under consideration:

- fully rectify/refurbish
- partially demolish and partially retain with rectification and refurbishment
- demolish and replace.

Regardless of the future of the buildings, under the Local Government Act 2009, Council must deliver an outcome that provides direct community benefit in a fiscally accountable and responsible way. This means any facility(s) and/or infrastructure provided by Council at Suttons Beach must have functional design that supports feasible, sustainable, and relevant operations and activations for the growing Moreton Bay Region communities and visitors from other places.

In addition, there are important strategic, community and cultural and heritage considerations. Any facilities or infrastructure should:

- align with relevant Council goals, strategies and key plans
- consider and respect:
 - community needs as reflected in the Suttons Beach Public Space Project – Community Survey Findings Report, May 2022 (community survey) and other engagement activities undertaken
 - cultural heritage and history of Suttons Beach.
- provide safe and inclusive access for people of all abilities
- consider Council's budget for capital works and maintenance within a regional context
- provide an appropriate fit with the 'consistent uses' of the 'Recreation and Open Space' zoning for Suttons Beach Park.

A key issue for Council relates to funding for any capital works required for Suttons Beach Pavilion. The forward budget does not have provision for any recommended future works at Suttons Beach Pavilion at this stage.

1.2 Purpose

This Strategic Assessment and Options Analysis (SAOA) explores the problems, service needs and targeted benefits for SBP. It then applies an analytical methodology to move from potential solutions to a longlist of options and then to a shortlist of options, before making recommendations for future uses of the site for decision makers to consider.

1.3 Project site

SBP is located in Suttons Beach Park at 50 Marine Parade, Redcliffe on Lot 1 RP30381 (Figure 1). Suttons Beach Park is freehold tenure and consists of a long and narrow strip of land dominated on the western side by a vegetated cliff embankment, rising slightly from south to north and falling from Marine Parade down to the flat foreshore (Figure 2).



Figure 1: Suttons Beach Park

SBP consists of connected buildings and associated structures that have been constructed at different periods in history and are in differing stages of deterioration. In this report, unless otherwise specified, SBP refers to (Figure 2):

- Pavilion 1 (P1)
- Pavilion 2 (P2)
- Link structure between the two pavilions
- Access stairs from Marine Parade
- Rotunda.

References made to Suttons Beach complex refer to SBP excluding the access stairs from Marine Parade (Figure 2).

These items are not considered part of SBP or Suttons Beach complex:

- Access Ramp from Marine Parade to Suttons Beach Park to the southern side of the stairs
- Other landscape elements (e.g., footpaths)
- Accessibility ramp to the beach.



Figure 2. SBP and SBP complex

1.4 Report limitations

This SAOA considers the body of technical reports commissioned by Council from c. 2018. It was developed concurrently with the Suttons Beach Pavilions Structural Investigation Report by Covey Associates P/L (Covey Report 2022) presented to Council in February 2023 and references the key findings of this report.

A feasibility analysis was not undertaken for the shortlisted options. This analysis should be included in the next stage of the project to provide more detailed assessment of the technical, financial and market feasibility of the recommended options.

Costings are based on preliminary/indicative building concepts and are represented as a cost range (band) for each concept, to reflect Indicative Probable Order of Costs. The building concepts were developed by Council architects and should not be considered as a representation of the design for any future buildings that could be constructed at the site. The Indicative Probable Orders of Cost provided by the quantity surveyor engaged by Council do not account for special architectural features or styles, such as Art Deco.

This analysis is informed by the Suttons Beach Public Space Project — Community Survey Findings Report, May 2022 (community survey) and acknowledges survey respondents represents a cohort motivated to contribute to discussions about the future of the Suttons Beach Park rather than all community members from across the Moreton Bay region.

Access to SBP and Suttons Beach Park from Marine Parade is provided by stairs directly behind SBP and a ramp/walkway descending the cliff embankment to the south of SBP and linking to the carpark and the rear of SBP. The stairs are an original element of the 1937 Suttons Beach Bathing Pavilion while the timber ramp/walkway is a recent addition to provide all abilities access from the footpath along Marine Parade. This document does not include the ramp as part of SBP or consider any future requirement for this structure.

The report also references People Movement Data analysis conducted by Council. People Movement Data is a new information source that is currently being trialled and validated for its representative nature and as such it should be treated as indicative only.

2 Governance

The Council recognised the importance, history and complexity of the SBP and Suttons Beach Park area to the community and the following governance arrangements were put in place (Figure 3). Council is responsible for this SAOA as the project owner.



Figure 3. Governance model

The Project Steering Committee (PSC) provided valuable input and guidance for the SAOA in the following areas:

- strategic direction
- historical information
- comment and/or endorsement of key SAOA elements
- review of SAOA and recommendations to the project leader.

The PSC members included representation from the Executive Leadership Team:

A Project Working Group (PWG) provided guidance, direction and review to ensure that the project analysis was in-depth, relevant and aligned with project objectives. Valuable input and guidance were provided by the PWG to:

- develop project context and service need
- define benefits sought
- generate potential initiatives and options
- assess and refine options based on various criteria.

The PWG comprised members from the following business units:

- Infrastructure Planning
- Parks and Recreation Planning
- Projects and Asset Services
- Building and Facilities
- Project Management
- Community Services Sport and Recreation
- Legal Services
- Corporate Communications
- Community Engagement.

3 Methodology

The SAOA generally follows the processes outlined below:

1. Strategic Assessment
2. Options Analysis
3. Recommendations.

3.1 Strategic Assessment

The document provides a strategic assessment of SBP to identify a succinct summary of the problems associated with the site, the service need of Council to invest in the site and the potential ideas that could address both the problems and service need. This is followed by an options analysis to narrow the breadth of options by applying rigorous evaluation criteria before assessing the viability of the remaining options.

The strategic assessment considers the history of the site, expert investigations that have been commissioned to assess the condition of buildings, the cultural heritage values of SBP and feedback from internal stakeholders and the community. It then documents the problems, service needs and targeted benefits for SBP. These are used to guide the identification of potential solutions.

3.2 Options Analysis

The options analysis applies an analytical methodology to move from potential solutions to a longlist of options and a shortlist of options (Figure 4). A base case is defined in this process and used for comparative purposes. The evaluation of options required development of criteria to compare the options and these criteria were developed to address the service need and therefore ensuring alignment to Council’s outcome areas.

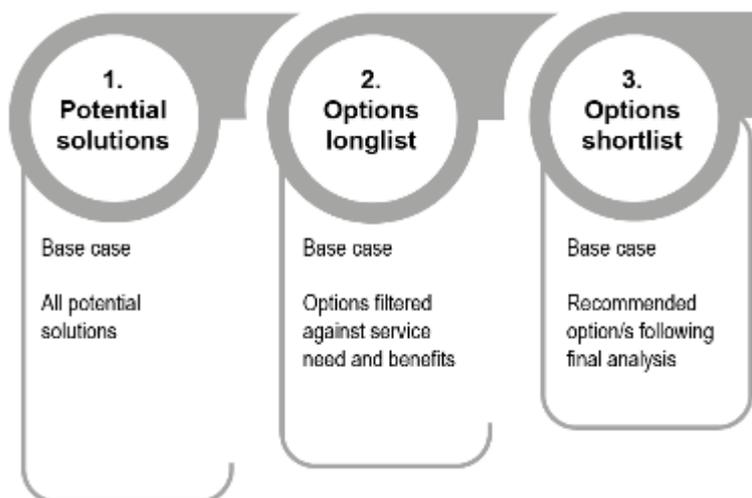


Figure 4. Key stages of SAOA as options for SBP are narrowed down

3.3 Recommendation of Options

Finally, the SAOA makes recommendations for future uses of the site for decision makers to consider and progress to the next stage of assessment. The detailed methodology for each of the steps is described in the relevant section of the report that follows.

4 History of the site

Suttons Beach is located in the area today known as Redcliffe, but this traditional Country of the Niny-Niny People was once known as Kauin-Kauin (meaning cliffs of running blood). The Niny-Niny or Humpybong tribe are coastal dwellers and part of the Kabi language group. According to Steele (1984), Niny-Niny People were the most southerly clan of the Undambi group and differentiated themselves by painting red ochre from the cliffs on their bodies and belongings. The Niny-Niny spoke with a distinct dialect which shared a negative word with the Kabi language. Within their dialect, the name of the Niny-Niny means oysters (Steele 1984: 163).

The Redcliffe area is currently subject to a Native Title claim by the Kabi Kabi First Nation Traditional Owners Native Title Claim group.

Queensland has a long history of seaside resorts. In the 1860s Sandgate and to a lesser extent Cleveland were popular destinations for beachgoers. At Suttons Beach, privately owned bathing sheds were established along the beach by the early 1900s to provide immediate access to the water after changing (Figure 5).¹ In 1912, as excursion traffic continued to increase, Redcliffe Shire Council approved construction of two bathing houses, a kiosk and a shelter shed at Suttons Beach to meet the needs of beach users (Figure 5).² The opening of the Hornibrook Bridge in 1935 greatly improved accessibility to Suttons Beach and other beaches north of Bramble Bay and coincided with the increasing popularity of swimming and sunbathing. Councils were now competing for holiday trade and in 1937 Redcliffe Town Council was granted a Treasury loan of £8,500 and a subsidy loan of £2,500 for four bathing pavilions planned for Scarborough, Redcliffe, Margate and Woody Point.



Suttons Beach bathing sheds c. 1906
(John Oxley Library, Image #TR1867-0001-0003)



Suttons Beach kiosk: 1912– mid 1930s
(Moreton Bay Regional Council Image #RMPC-100\100084)

Figure 5. Suttons Beach – private bathing sheds and the first kiosk

All bathing pavilions were designed by the Brisbane architect Clifford E. Plant. Suttons Beach Bathing Pavilion was opened in December 1937, replacing the previous 1906 kiosk and bathing house infrastructure. This new two-storey bathing pavilion featured a kiosk, dressing room, lockers, toilets and showers and café on level 1 (refer to plans in Appendix 1). Its design included a range of elements consistent with a late Art Deco Streamline Moderne (Art Moderne) style, including the extensive use of concrete and glass, a symmetrical and relatively austere façade and the minimal use of Art Deco elements (Figure 6).³

The original design of SBP included stairs from Marine Parade comprising:

- entrance and fence at Marine Parade
- upper steps
upper terrace
- steps leading diagonally to the north side of the pavilion

¹ Converge Heritage + Community (2018), Former Sutton's Beach Bathing Pavilion Heritage Assessment, p.3.

² <https://historyredcliffe.com.au/home/suttons-beach-pavilion-a-short-history/>

³ Converge Heritage + Community (2020), Former Sutton's Beach Bathing Pavilion Conservation Management Plan, p.4-5.

- steps leading diagonally to the south side of the pavilion.



View from east (MBRC Image 24082_RMPC-100004)



Level 1 looking southwest (26835_RMPC-101-101603)



View from south (MBRC Image 25624_RMPC-100-100837)



Level 1 looking northwest
(MBRC Image 26836-101-101604)

Figure 6. Original Suttons Beach Bathing Pavilion

4.1 Alterations, additions and changes of use

Since its construction SBP has also undergone three changes of use (bathing pavilion, museum, and food and beverage establishment) and been managed under several different leases (Table 1).^{4 5}

Timeframe	Commercial lease	Establishment name	Use
1937 – c.1975	Lessee 1	Suttons Beach Bathing Pavilion	Bathing pavilion with kiosk and café
1975 – c. 1999	Lessee 2	Redcliffe Historical Museum	Museum
2000 – 2005	Lessee 3	Sam's Seafood	Restaurant, café, fish and chippery
2002			Alterations built by Sam's Seafood c.2002 included the addition of a function centre (P2) and extensions and art deco cladding were added to the original building (P1).
2005			Sam's Seafood placed in receivership, Redcliffe City Council buys SBP complex
2006 – c.2014	Lessee 4	Sails Restaurant and Function Centre	Restaurant (casual and fine dining) and function centre (P2)
2015 – 2017	Lessee 5	Pilpel By the Sea	Restaurant (casual and fine dining) and function centre (P2)

⁴ Converge Heritage + Community (2018), Former Sutton's Beach Bathing Pavilion Heritage Assessment, p.8.

⁵ Gee, P., Suttons Beach Pavilion – A Short History, viewed 17 October 2022 <[https:// historyredcliffe.com.au /home/suttons-beach-pavilion-a-short-history/](https://historyredcliffe.com.au/home/suttons-beach-pavilion-a-short-history/)>.

2017 – Feb 2022	Lessee 6	Suttons Beach Pavilion	Restaurant (casual and fine dining) and function centre (P2)
-----------------	----------	------------------------	--

Table 1: Suttons Beach Pavilion Use History

SBP has also been altered, expanded and renovated from its original 1937 form (Figure 7).



Suttons Beach Bathing Pavilion, 1937 design
(MBRC Image 24082_RMPC-100004)



Redcliffe Historical Museum, 1975–1999 (MBRC Images 00-100156)



Figure 7. Suttons Beach Pavilion c.1975 to c.2022

The first significant alteration to SBP occurred c.1975 to accommodate the Redcliffe Museum. Alterations included enclosure of dressing room entrances, partial demolition of ventilation chimneys, demolition of the individual entrances and demolition of the kiosk counter. Despite this, the fabric of the 1930's pavilion remained largely intact and recognisable as the original structure.

Between 2000 – c.2006 major alterations, additions and renovations were done starting with the change of lease from Redcliffe Museum to Sam's Seafood in 2000. In 2002, SBP became two pavilions when Sam's Seafood constructed a large function centre (P2) to the immediate north of the original bathing pavilion (P1). At the time, there was some community protest about the expansion.

Connecting P1 and P2 at ground level is the 'link structure' and at the upper level a timber walkway at the rear of the buildings (from northwest side of P1). The original staircase from Marine Parade allows access to P1 and P2 from the road and connects to the timber walkway to the northwest of P1 and a second timber walkway to the southwest of P1. This second timber walkway also provides access to the carpark via stairs and a ramp. In addition to the Marine Parade stairs, an accessible ramp/walkway to the south of the stair entrance provides a second access point from Marine Parade and accessible access to the foreshore, as well as a link to the southwest timber walkway at the rear of P1.

P1 also underwent major changes in the early 2000, following its lease to Sam's Seafood. These changes are summarised as follows:

- Level 1: Replacement of the hipped roof with a flat roof, enclosure of original terrace areas, removal of two of four columns, construction of a veranda extension and removal of three of the four exterior walls of the original cafés.
- Ground floor: Removal/alteration of many internal walls for accessways, enclosure of the area under the new veranda extension and the addition of new outdoor dining areas.

This new work was built in rendered "blue board" flat sheeting and polyurethane mouldings and included pseudo-Art Deco façade motifs and horizontal banding.⁶

In May 2005, Sam's Seafood went into receivership and the Suttons Beach complex was purchased by the Redcliffe City Council.

Between 2006 and February 2022, three different commercial leases were held over SBP (Table 1 above). In 2021, Council decided not to renew the tenant's lease and to close the SBP. In February 2022, with the expiry of the lease, the building ceased to provide services to the public. Council's decision was due to the seriously deteriorating condition of the buildings, concerns with the structural integrity of key building components, increased concerns about public safety for staff and the wider public, and the need to undertake comprehensive testing to conclusively determine the structural condition of the buildings.

There has been a significant community response to the closure. Some strong community dissatisfactions have been put forward about the perceived loss of amenity, potential loss of cultural and heritage values and concerns for the future of SBP and future amenity to be provided at the site.

4.2 The rotunda

In 1998, a rotunda (gazebo) was built in a late 19th century style on the foreshore in front of P1 (Figure 8). This structure is now considered by many locals and visitors to the park to be a feature of SBP as demonstrated by the findings of the 2022 community survey undertaken by Council. In the survey 55% of the 2,063 respondents reported strong feelings for the rotunda.

⁶ Ivan McDonald Architects (2022), Former Suttons Beach Pavilion Redcliffe – Cultural Heritage Assessment Report, P15.



Figure 8. The Rotunda viewed from the east (TripAdvisor)

The rotunda was considered by the community in the 2022 survey. The perceived heritage values of the rotunda can be attributed to the 19th century style in which it was built and not its relatively recent construction date of 1998.

The rotunda is located between the original Pavilion 1 and the foreshore which does impact on sightlines from the beach to the Pavilion. The rotunda has no picnic facilities and is surrounded by hard landscaping which has no shade structures.

The people movement studies have also confirmed the large green area lawn is the most frequented part of the pavilion site, followed by the indoor area with least amount of time being spent in the rotunda.

The results of the survey note that when asked what attributes of the rotunda participants were most important to them, all features listed were consistently identified as being important with the following being the most valued (marginally):

- It is accessible to everyone
- It is iconic
- Its architecture

It should be noted Council has identified significant structural deterioration in the components of the rotunda due to the surrounding marine environment. To rectify these issues the structure would need to be disassembled, new parts designed and manufactured, and the rotunda then reassembled.

5 Expert investigations

5.1 Cultural heritage value

Since 2018, Council has commissioned three reports to investigate the heritage values of SBP. These reports were:

- **Report 1:** Converge Heritage + Community (2018), Former Suttons Beach Bathing Pavilion Heritage Assessment — Highlights conservation priorities at SBP and directs future maintenance routines (water ingress rectification project) in accordance with the Burra Charter principles and standard heritage practices.
- **Report 2:** Converge Heritage + Community (2020), Former Suttons Beach Bathing Pavilion Conservation Management Plan — Provides an historical background, an updated significance assessment and assessment of building condition and integrity.
- **Report 3:** Ivan McDonalds Architects (2022), Former Suttons Beach Bathing Pavilion Redcliffe Cultural Heritage Impact Assessment Report— Addresses the heritage significance of the site in preparation for works that did not proceed.

Collectively, the reports by the two different consultants, document key heritage aspects related to SBP including:

- extensive modifications made to the original 1937 bathing pavilion since 1975
- identification and hierarchy of significant elements in the former bathing pavilion (P1)
- recommendations for conservation management, including guidance and principles provided by the Burra Charter
- statutory obligations and maintenance of significant elements.

The former Suttons Beach Bathing Pavilion (P1), is also listed on Council's local heritage register (ID#88) (Figure 9). P2, constructed c.2002 has no cultural heritage significance.

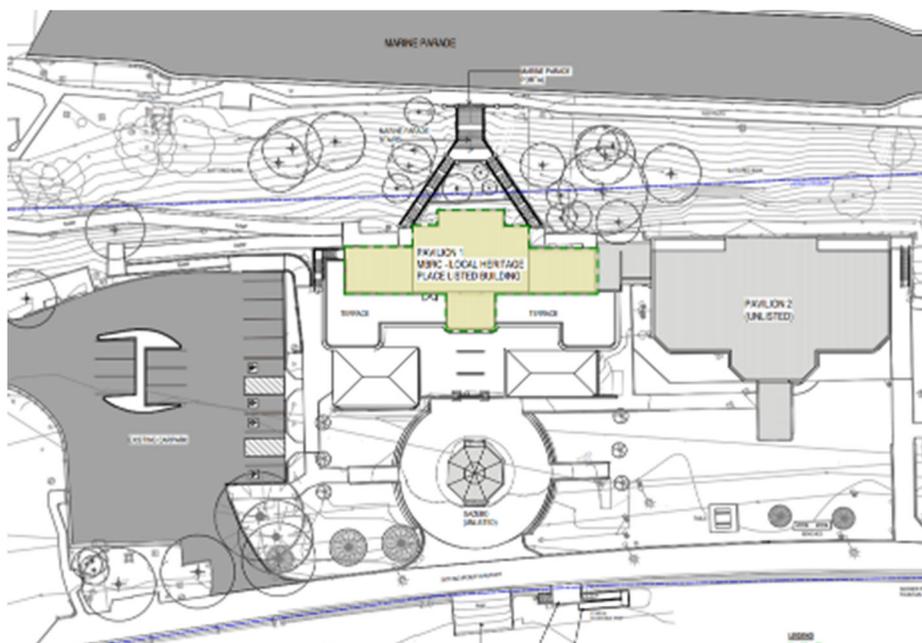


Figure 9. Heritage listed P1 (Image: Mode, 2022)

The Statement of Significance from Council’s local heritage register has used criteria from the *Queensland Heritage Act 1992* and provides statements against criterion A, D, E and H. The definitions of all criteria are as follows:⁷

- A. If the place is important in demonstrating the evolution or pattern of the region’s history.**
- B. If the place demonstrates rare, uncommon or endangered aspects of the region’s cultural heritage.**
- C. If the place has potential to yield information that will contribute to an understanding of the region’s history.**
- D. If the place is important in demonstrating the principal characteristics of a particular class of cultural places.**
- E. If the place is important because of its aesthetic significance.**
- F. If the place is important in demonstrating a high degree of creative or technical achievement at a particular period.**
- G. If the place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.**
- H. If the place has a special association with the life or work of a particular person, group or organisation of importance in the region’s history.**

Report 2 presents a table detailing Statements of Significance from Council’s register and provides a review for each of these statements and their relevance (Table 2). Criterion A relating to the importance of SBP for demonstrating the evolution of the region’s history is assessed as still relevant. Notably, the review states criterion D, E and H either are not met or are no longer relevant.

Criteria	Existing Statement	Review
A	The Former Sutton’s Beach Bathing Pavilion is important for demonstrating the evolution of the region’s history, especially the importance of beach going to the history and development of Redcliffe.	As a surviving example, albeit with significant modifications, of one of four bathing pavilions commissioned by Redcliffe Council in the 1937, the changing use of the place over time demonstrates the evolution of the history of Redcliffe as a seaside resort. Criterion A is still relevant , but the statement should acknowledge the significant nature of the changes that have occurred over time and their linkages to broader changes in the Region’s development.

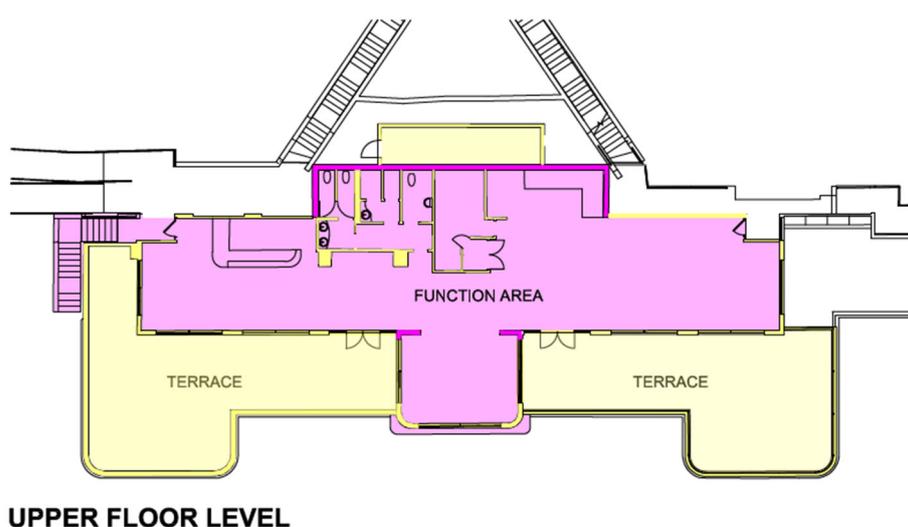
⁷ Converge Heritage + Community (2018), Former Sutton’s Beach Bathing Pavilion Heritage Assessment, p.19,20.

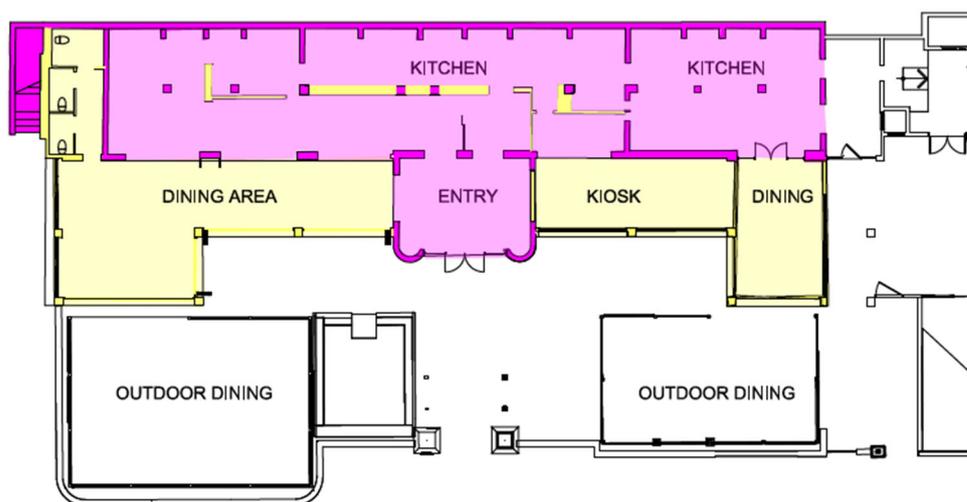
Criteria	Existing Statement	Review
D	The Former Sutton's Beach Bathing Pavilion is a good example of a two storeyed 'Art Moderne' style bathing pavilion from the 1930s.	It is considered that the place does not meet Criterion D. The degree of changes to the former bathing pavilion over the years mean that it no longer demonstrates the principal characteristics of 1930s bathing pavilion. It no longer demonstrates the original design intent, specifically that of a 1930s bathing pavilion with 'Art Moderne' elements inclusive of austerity, simplicity and symmetry of design. Impacts are not only restricted to additions and changes to the building itself, but also to the addition of the neighbouring function centre and modifications to the landscape, both of which heavily impact on the symmetry, position and dominance of the building in its setting.
E	The pavilion is important for its aesthetic significance.	It is considered that the building does not meet Criterion E. While the attribution of aesthetics is influenced by personal taste, from a heritage perspective the building no longer demonstrates the key elements of its original design intent, with subsequent modifications considered to impact heavily on the integrity of the design and incorporate 'faux art deco' elements that differ substantially from the key elements of Art Moderne and late Art Deco design.
H	The Former Sutton's Beach Bathing Pavilion has a special association with Redcliffe Council architect Clifford E. Plant, who is renowned for his 1930s pavilion designs.	It is considered that the building does not meet Criterion H. The place no longer has a special association with the life or work of Clifford E. Plant. Specifically, the building has been so substantially modified that it bears little or no resemblance to Plant's original design for the pavilion. In addition, it is considered that there are better, more intact examples of Plant's work within the region, including the other remaining bathing pavilions constructed in the region at the time

Table 2: Statement of significance

5.1.1 Original building fabric

As part of testing works undertaken by Covey Associates P/L for the Covey Report 2022 a complete strip out of all wall cladding was undertaken at P1 revealing original brick and reinforced concrete walls of the structure. This allowed Council to identify the remaining elements of the 1937 bathing pavilion by referencing against the original building plans prepared by the architect Clifford E. Plant (Figure 10).





GROUND FLOOR LEVEL

LEGEND
 ORIGINAL 1937 BUILDING FABRIC
 2000's BUILDING FABRIC:

Figure 10. Extent of the original building fabric (Source: Moreton Bay Regional Council)

Table 3 describes the remaining extent of original building fabric

Ground floor	Level 1 (Upper Floor Level)
<ul style="list-style-type: none"> Floor slab (contains more recent topping slab) 	<ul style="list-style-type: none"> Suspended slab (contains more recent topping slab)
<ul style="list-style-type: none"> Western side - reinforced concrete exterior wall (portions removed for services) 	<ul style="list-style-type: none"> Western side - reinforced concrete exterior wall (rear of original café) Two columns (four in original structure)
<ul style="list-style-type: none"> Southern side - brick exterior wall 	
<ul style="list-style-type: none"> Internal load bearing columns 	
<ul style="list-style-type: none"> Fragments of eastern and northern walls and the curved wall remnants from the former kiosk 	

Table 3. Extant (surviving) elements of the 1937 building

The original stairs from Marine Parade connecting to P1 remain relatively intact albeit with some modifications to the Marine Parade stair entrance and additional balustrading and rendering of concrete.

All options presented in the SAOA preserve these stairs.

5.1.2 Impact of modifications/additions on heritage values

The original 1937 Suttons Beach Bathing Pavilion is described as 'a good example of a two storeyed Art Moderne style bathing pavilion from the 1930s'.⁸ The extensive internal and external modifications and additions made to P1, particularly since 2000 are described in the heritage reports as follows:

- **Ground floor:** The original 1937 ground floor ticket booth, kiosk, toilets and change areas no longer survive and have been replaced by modern commercial kitchen and restaurant facilities operating on an expanded floor plan with the original ground floor area now containing largely kitchen and back-of-house service areas.
- **Level 1:** The original 1937 upper floor café and open front and side terraces have been removed and enclosed to form the current food service and bar/dining areas. The existing

⁸ Converge Heritage + Community (2018), Former Sutton's Beach Bathing Pavilion Heritage Assessment p.19.

open terraces were constructed in the early 2000s and now project beyond the original front building line. These are enclosed underneath for additional dining space.⁹

Currently, the full exterior of the P1 is the result of post 2000 alterations and additions, except for a portion of the curved walls either side of the of the former kiosk entrance at the ground floor of P1 (Figure 11). A detailed analysis of the known changes to P1 between 1937 and c.2006 is presented in Appendix 2.



Figure 11. Location of curved walls

The heritage reports describe the current SBP as “substantially altered” from the original building. Most of the exterior of the building is described as “modern fabric designed to mimic an art deco period style” and consisting largely of blue board cladding” and applied polystyrene decorative motifs. Other comments include:

1. *The building has been extensively modified since 1975; and especially during c.2002 and c.2006 when it underwent major renovations and extensions. Consequently, little original fabric appears to remain. In addition, substantial modifications and extensions to the façade have significantly impacted on the original, symmetrical design of the building, rendering it very difficult to interpret the original design.*¹⁰
2. *The current “Art Moderne” or “Art Deco” building style is the product of the early 2000s alterations and additions which further extensively, unsympathetically and irreversibly altered the originally substantially altered building. These early 2000s alterations significantly distort the former bathing pavilion by overtly replicating period detailing (such as chevron façade motifs, curved plan forms and continuous horizontal bands) and misrepresenting the current building as being from the inter-War period.*¹¹

5.1.3 Hierarchy of Significant Elements

Report 1 provides an assessment and gradings of the heritage significance of SBP, the justification for these and, associated management requirements. For example – an element of Exceptional Significance should be retained and conserved in-situ with as little intervention as possible, whereas an element of Low Significance may be altered or removed if there is sufficient justification to do so. The criteria for significance hierarchy are presented in Table 4.

Grading	Justification
Exceptional	Rare or outstanding element, exhibiting a high degree of intactness or other such quality(s) and is interpretable to a high degree, although alteration or degradation may be evident.
High	Featuring a high degree of original or early fabric or demonstrative of a key part of the place’s significance, with a degree of alteration which does not unduly detract from that significance.

⁹ Ivan McDonald Architects (2022), Former Sutton’s Beach Bathing Pavilion Redcliffe – Cultural Heritage Assessment, P15.

¹⁰ Converge Heritage+ Community (2020) Former Suttons Beach Pavilion Conservation Management Plan, P35

¹¹ Ivan McDonald Architects (2022), Former Sutton’s Beach Bathing Pavilion Redcliffe – Cultural Heritage Assessment, P15.

Grading	Justification
Moderate	Altered or modified elements. Elements with some heritage value which contribute to the overall significance of the place.
Low	Difficult or unable to be interpreted, not an important function, subject to high alteration.
None	Neither significant nor intrusive.
Intrusive	Damaging the site's overall significance, an aspect of the site's significance and/or significant fabric.

Table 4. Criteria for significance hierarchy

Figure 12 details an assessment of significant elements for each floor in P1 and is drawn from Report 1. In terms of the setting, P1 is rated Low, reflecting the significant change in appearance from the 1937 design. The stairs from Marine parade, largely original fabric, are classified as Exceptional. P2 and the outdoor eating areas are described as Intrusive due to impacts on the symmetry, dominance and integrity of the original P1 and other factors. The rotunda is also described as Intrusive as it interrupts the view to the pavilion from the beach. The term “faux heritage” is also used in reference to the Rotunda for depicting the wrong year of its construction (Victorian era ending in 1901 in contrast to its 1998 construction date).

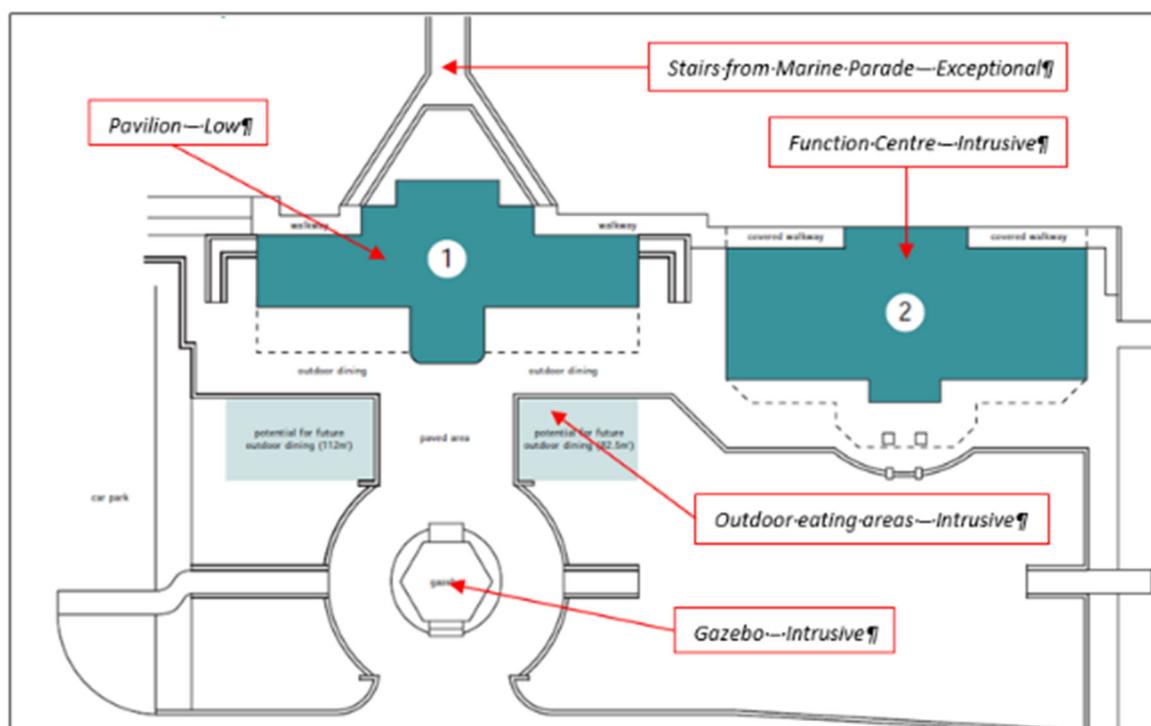
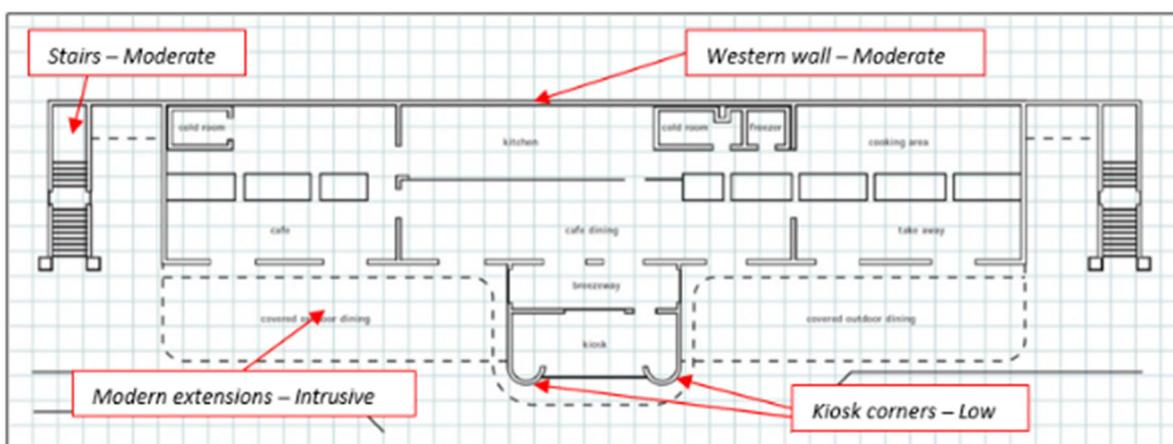


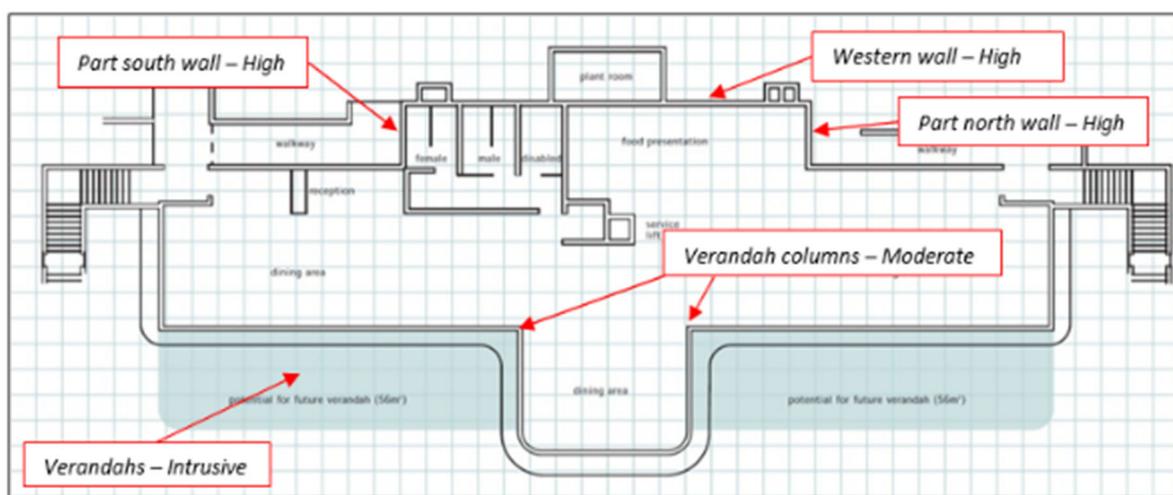
Figure 12. Location of significant elements around the settings of the pavilions (Converge heritage + community, 2020 (MBRC2006:8))

In the heritage assessment of specific elements of P1, only the stairs from Marine Parade are graded as Exceptional. All additions constructed since c.2000 are graded as intrusive, while elements of the original 1937 structure are graded as either Low or Moderate, except for the southern stairs (High), two remaining veranda columns (from 4 originally) on level 1 (High) and some sections of the rear wall on Level 1 (High) (Figure 13). Detailed comments relating to the grading of heritage elements are presented in Appendix 3.

Ground floor



Level 1



(Converge heritage + community, 2020, P23)

Figure 13. Location of significant elements at the ground floor and level 1

5.1.4 Summary

The three heritage reports document the following:

- The significant impact on heritage values of modifications to the 1937 structure (original elements of P1), undertaken since c.2000.
- The 'Exceptional' heritage values of the stairs from Marine Parade and that they are largely in their original state.
- The 'Intrusive' nature of any additions since c. 2000 to the 1937 Suttons Beach Pavilion site.

In relation to the Statement of Significance discussed in section 5.1, the author of Reports 1 and 2 proposes a revised statement for criterion A and the addition of criterion G with a new statement as outlined in Table 5.

Criteria	Statement
A	The Former Sutton's Beach Bathing Pavilion is significant as a surviving example, albeit with significant modifications, of one of four bathing pavilions commissioned by Redcliffe Council in the 1930s. The changing use of the place over time demonstrates the evolution of the history of Redcliffe as a seaside resort and reflects the changes in the region more broadly. The stairs from Marine Parade to the rear of the pavilion survive largely intact.

G	The Former Sutton's Beach Bathing Pavilion is significant for its strong association with the broader community given its use since the 1930s for varying beachside recreational purposes. The place has been a venue for many special events on both a community and individual family level for approximately 80 years. The place also has an association with Allied Servicemen and women during World War II and with the Redcliffe Museum which utilised the building for nearly 25 years.
---	--

Table 5: Updated statement of significance

These cogent statements align with the strong connections that many in the local community have for Suttons Beach and SBP. They also reflect that while the function and appearance of the pavilion complex has changed over time, the structure in its changing form has been associated with Suttons Beach since 1937. However, on balance the significance of the statements appears to be superseded by the general conclusions that SBP has low heritage values, except for the stairs from Marine Parade. Report 3 in a final statement relating to the heritage impact of any proposed development to the site concludes the following:

Based on the above assessment, it is concluded that the proposed development (including demolition of buildings) will not result in the loss of any particular heritage values since, on further assessment, the buildings have insufficient cultural heritage significance to warrant retention, except for the associated Marine Parade stairs, which are proposed to be retained.¹²

5.2 Structural engineering reports

This SAOA relies on data and expert advice from detailed investigations into the condition of SBP conducted between 2012 and 2021 by specialist consultants. It should be noted this report was commenced concurrently with the building testing investigation being undertaken by Covey Associates P/L in 2022. The scope of the reports undertaken between 2012 - 2021 covers:

- general building condition
- structural condition
- type and location of defects
- options to rectify defects including water ingress and drainage issues
- ground conditions and allowable bearing capacity of soils at the site (geotechnical data)
- quantity surveying to develop Indicative Probable Order of Costs for defect rectification.

Consultancies that undertook this work and the year of their investigations are:

- Stephen Waite Consulting — 2012
- FSA Consulting Engineers P/L— 2016, 2017(3), 2019 and 2020
- Proactive Quantity Surveying — 2017, 2021
- BE Collective — 2020
- Covey Associates P/L — 2020
- GHD — 2020.

While SBP suffers from a complex range of defects, technical reports from the last 10 years frequently mention prolonged water ingress and widespread water proofing failures as major contributors to failures in structural and non-structural and components of P1 and non-structural components in P2. However, technical reports describe a range of other factors that contribute to the current state of SBP including:

- age of the original building fabric
- poor quality design and construction
- P1 location against western cliff face and failed surface/subsurface water drainage
- multiple waterproofing failures in the external cladding system

¹² Ivan McDonald Architects (2022), Former Suttons Beach Bathing Pavilion Redcliffe, P. 21.

- prolonged water ingress into internal spaces causing corrosion of reinforcement, corrosion of structural steelwork and fungal rot of framing timbers
- exposure to the harsh marine environment
- non-compliance with contemporary building standards.

P2, constructed in 2002, is now halfway through its projected project life. While numerous defects have been identified in the building, none impact its core structural integrity.

Investigations have largely focussed on Pavilion 1, and the link structure between Pavilions 1 and 2. Appraisal of the condition of P1 has been complicated by the alterations and additions the structure has undergone to accommodate different uses. As stated by FSA Consulting Engineers in their structural condition audit:

As is common with buildings that have been developed and re-configured over significant time periods (eighty-years), detection of the extent of suspected defects is problematic; original structure is often hidden behind layers of internal fixtures and fittings or covered as earth retaining walls or similar.¹³

FSA Consulting Engineers also note that the structural configuration of P1, originally designed as a compact bathing pavilion with small kiosk on ground floor and modest café on level 1, does not lend itself well to its occupancy since 2000 as a significant food and beverage enterprise.

5.2.1 Audits and Peer Reviews

In 2020, Council commissioned four additional reports to validate the significance of the deterioration of the buildings and to inform any investment decision in relation to SBP. These involved additional inspections and peer reviews and preparation of the following technical reports:

1. **FSA Consulting Engineers (FSA) Structural Condition Audit, February 2020:** Provides an overall summary of the structural condition of building elements by undertaking an up-to-date invasive investigation and correlating the results against all recent relevant building investigative works from the last 10 years. The report provides a comprehensive list of defects for P1 and the link structure and maps their location. It also provides comment on remedial work implications including access requirements.
2. **BE Collective (BEC) Structural Condition Audit Peer Review, May 2020:** Provides a structural condition audit peer review of the 2020 FSA Structural Condition Audit. Except for where access was no longer available to assess defects, the report states that defects identified by FSA were sighted and that for the majority, BEC was in agreement with both defects identified and the proposed repair recommendations. Some additional commentary was also provided regarding the remaining life of the level 1 slab and a solution to reduce water ingress along the rear wall in P1.
3. **GHD – Structural Condition Assessments of P1 and Structural Safety (letter) relating to P2, August 2020:** Reports on an inspection of P1 and a review of the FSA Structural Audit Report of 2020 and the BE Collective Condition Audit Peer Review of 2020. A two-page letter was provided to Council on 06 August providing high level commentary from limited observations during the visit and with a focus on the condition of the concrete floor, suspended slab and water ingress through the western wall. GHD also assessed P2 to identify underlying structural issues that would prejudice the future refurbishment of P2. The report provides a brief overview of the structure and commentary focussed on defects associated with roof leaks, inadequately installed roof plant and the integrity of the undercroft rear wall. It also contains several qualifications, including that the inspection was visual only. P2 is described as in good condition for a 20-year-old building with no other indicators of structural degradation found.

¹³ FSA Consulting Engineers (2020), Structural Engineering Report Relating to Structural Condition Audit at Suttons Beach Pavilion 1, P25.

4. **Covey Consultancy Structural Engineering Review, August 2020:** Provides a technical review of existing reports and relies upon the data from numerous previous inspections, investigations, structural condition audits, defect reports, into the structural and non-structural components of the aging Pavilion 1 building. This includes the FSA Structural Audit Report (2020), BE Collective Condition Audit Peer Review (2020) and the GHD Sutton Beach Pavilion 1 — Structural Safety (letter) (2020). The report scope covers:
- a technical review of reports that have been obtained to date and recommendations regarding both structure and heritage considerations
 - high level analysis of Services (electrical, mechanical, fire services and hydraulics)
 - high level analysis of Development Assessment/Planning requirements.

In 2022, Council initiated further building testing investigations which were being undertaken concurrently with the early development of this SAOA. These are discussed later in this chapter.

5.2.2 Key defects and issues

There are several key issues identified from the 2020 reports (which are confirmed within the Covey Report 2022) in relation to the condition of the SBP complex:

- large number of defects and cost to repair
- structural integrity of the building
- water ingress – rear/wet/western wall.

Defects and cost to repair: Appendix 4 provides an audit summary of all identified defects for P1 and the Link structure with accompanying defect map. The audit identifies over 40 items, many of which involve costly and complex repairs works. Several defects require further investigation to determine their full extent and/or raise issues as to an appropriate repair methodology.

Structural integrity: Investigations have identified several major defects that impact the integrity of the building and, in some case, require further investigation. A major issue is the upper-level suspended slab, which is described in several reports as ‘being at or approaching end of life’. Other key examples are:

- concrete beam in the accessible (PWD) toilet identified as ‘structurally failed’
- shear cracks and cracking in load bearing brick columns and walls
- extensive spalling and carbonation of concrete in soffit of the suspended slab
- inadequate steel framing on ground floor to compensate for all wall removals
- extensive water damage in load bearing timber components of the building.

Water ingress: water ingress through the rear western wall of P1 has been a pervasive issue for several years causing serious defects inside the building. This reinforced concrete wall forms part of the original 1930’s construction and serves three main functions: to retain the cliff embankment, to prevent water ingress to ground level tenancies (now kitchen and food preparation areas) and, to support the upper-level suspended slab and structure above. Previous engineering reports note that the past waterproofing of this wall has failed allowing water ingress along its full extent, causing:

- damage to the internal flooring and kitchen fit out
- water damage/rot in the internal wall framing and cladding
- damage to the structural integrity of the wall itself - somewhat unknown due to limited access.

Both surface water runoff and ground water levels contribute to this issue (Figure 14). Remedial options to repair this wall have been assessed in detail by Council and informed by structural engineering consultant investigations. However, due to building design and location, proposed mitigation measures cannot provide a warranty that repairs would fully mitigate water ingress, except where a secondary retaining wall is constructed behind P1 to create a void and prevent prolonged water contact with the western wall.

Creating a void behind P1 was identified as high cost, and potentially impacting the heritage stairs and the portion of level 1 that overhangs the ground floor rear wall. At the time of this report, no effective methodology has been proposed to create this void, mitigate water ingress, and provide a guarantee that the issue can be rectified.

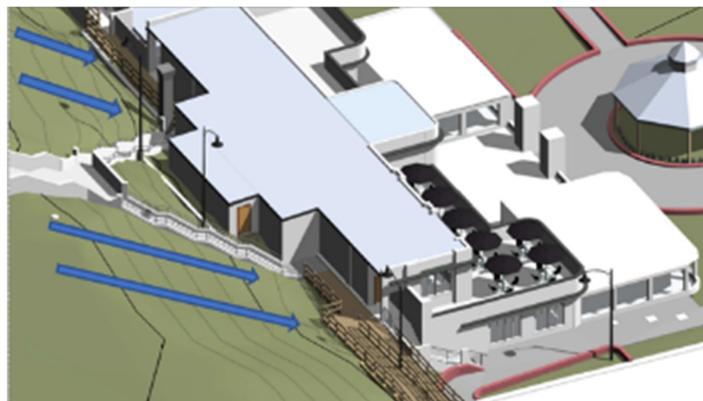


Figure 14. Direction of water flow during rain events (surface and subsurface)

5.2.3 Current building testing

In May 2022 Covey Associates P/L were engaged by Council to prepare, implement, and supervise a comprehensive investigation of the Suttons Beach Pavilions, which included the testing (by both non-invasive and invasive) methods to determine:

- overall and component structural condition, integrity and adequacy
- remaining residual/service life (including concrete life)
- degree of reinforced concrete carbonation and cover to reinforcement
- whether any structural components of concern can be repaired, and if so, provide conceptual details of the works required.

5.2.4 Summary

While past structural engineering reports have identified multiple serious defects and structural issues with SBP, Council now has the results of Covey Report 2022. These results will be considered alongside this SAOA to inform decisions regarding SBP. In responding to the community's strong interest in the site, Council has considered it prudent that any decision as to the future of SBP is supported by definitive evidence and finds an appropriate balance between the wishes of the community and responsible use of Council's capital works and maintenance budget.

6 Stakeholder Engagement

6.1 Identifying stakeholders

The key stakeholders for the SAOA were defined with the PWG as:

- Moreton Bay region residents and ratepayers, including local interest groups
- Local businesses and not-for-profit organisations
- Councillors and local MPs
- Visitors from outside the Moreton Bay region
- Media and interested members of the community.

6.2 Stakeholder engagement

In late 2021 and early 2022, Council undertook engagement with community, local business, park user and local interest groups. This provided better understanding of stakeholder views on the site, how visitors use Suttons Beach Park and feedback on the potential buildings and facilities uses the community would value at the site and park. Engagement also sought responses around future building options for the site should structural testing determine that full or partial demolition of the site is required.

The engagement included a public website providing information about the project including copies of all the technical reports undertaken to date, physical signage at the site, a formal consultation period with a community survey, meetings with interest groups, businesses and park users and monitoring, measuring and responding to direct requests for information. The engagement activities and their outcomes are as follows.

6.2.1 Community survey

The **Suttons Beach Public Space Project – Community Survey (2021/22)**¹⁴ received 2,063 responses from across the region.

While participation was heavily skewed in favour of proximity to the site, particularly Redcliffe Peninsula residents, the substantive sample size enabled a statistical comparison of responses from Redcliffe Peninsula residents and residents of other suburbs within the region demonstrating only very modest differences in opinion. Specifically, residents of Redcliffe showed stronger support for a 'like for like' structure in place of the pavilions and for spending ratepayers' money to fund the construction of any replacement buildings.

The survey aimed to help Council:

- better understand current use of the site and how the community might use the park in the future
- gather local stories to help share the history of the site and showcase community connection to SBP and Suttons Beach Park
- determine what potential replacement buildings and facilities should be considered if the current building testing (invasive and non-invasive) confirms demolition or partial demolition of the buildings is necessary.

Key findings from the survey are as follows:

¹⁴ Voconiq (2022), Moreton Bay Regional Council - Suttons Beach Public Space Project – Community Survey Findings Report

Valued services and utilities: In order of importance respondents indicated that public toilets, places to purchase food and drink, grass and shade for picnics and car parking were most important (Figure 15).

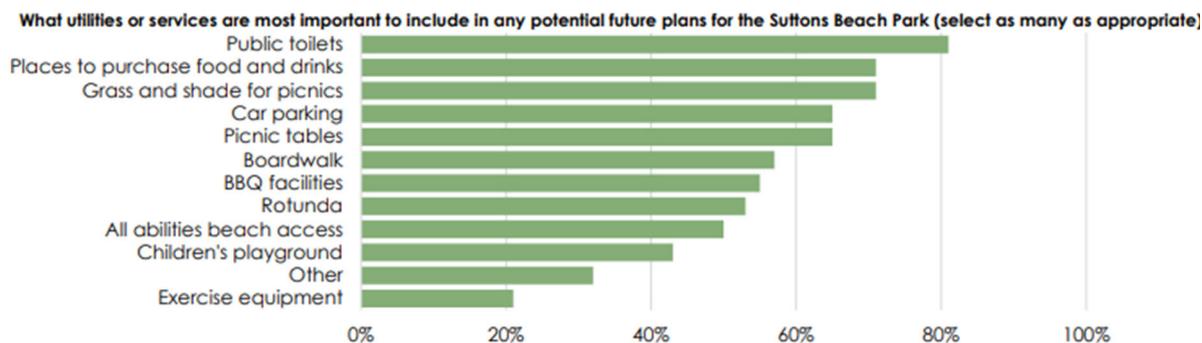


Figure 15. Survey feedback on the importance of utilities or services at Suttons Beach Park

Visit purpose: 81% of visitors use the site to enjoy the view versus 74% to purchase food and drink.

The rotunda: Most participants (55%) indicated strong feelings about the rotunda. Interestingly, residents that have moved to the area in the last 12 months were most positive toward the structure, which was actually constructed in 1998 (not in the early 1900s as some appear to believe). Rotunda attributes that were considered important by the community include its architecture; it's iconic to the area; it's a great stage for cultural performances; it's a beautiful place to host events; it provides a great backdrop for photographs; and it is accessible to everyone.

Connections with Suttons Beach: The community, both residents of the Redcliffe Peninsula and other parts of the region have connection with Suttons Beach and the Suttons Beach Pavilion.

The SBP complex: There is community support for either restoring the existing pavilion buildings or building new structures that reflect the original 1930s building design and support the functions of accessing food and drink services, enjoying the natural surrounds and social activities.

6.2.2 Stakeholder meetings

In 2021/22, Council held open discussions with the Suttons Beach Pavilion Preservation Group (SBPPG), Redcliffe Chamber of Commerce, Redcliffe Historical Society, the Redcliffe Peninsula Life Saving Club (SLSC) and park user groups. These meetings again provided insights on local views on the site, how visitors use Suttons Beach Park and feedback on the potential buildings and facilities. A summary of the issues raised across these groups is presented below.

The stakeholders engaged told Council:

- Any new facilities are a great opportunity to add something iconic to the area to boost the region.
- Don't rush the final building/s concept - the design should consider local user perspectives and how the structure/s integrate with the surrounding parkland.
- It would be beneficial to enhance the park visitor experience by maximising movement and interaction between the water, the park and the existing and future precincts on top of the cliffs.
- Providing a facility which enables visitors to capture and share the beauty of the area through photography/social media would encourage tourism and local pride in the area (needs to be "Instagram-worthy").
- The limited car parking should be a considered when selecting the type of venue - a large function centre or other venue types that have high car parking requirements are not suitable at this location.

- Food and beverage provision should be café style to cater for park and beach users that want to purchase drinks including coffee or light foods such as fish and chips and continue to enjoy the general surrounds.
- Large scale development of the site would be detrimental to the current uses of the parklands and general amenity of the area.
- Consideration should be given to how this facility could tap into the 2032 Olympics and Paralympics to leave a lasting legacy for the region.
- Council should consider all possible avenues of saving the heritage components of the building.
- SBPPG indicated a preference for P1 to be preserved for its cultural heritage value and that refurbishment was the strongly favoured option of the group. In addition, the group acknowledged the structural testing would provide more detail on the viability of this option and noted a desire that should a demolish and rebuild be considered that it replicates the existing building.
- There is an opportunity to design something that assists more local user groups by including all hours access to showers (may be just outdoors), toilets, storage facilities, and shared meeting spaces.
- There may be opportunities to work with the Redcliffe Peninsula Surf Life Saving Club (SLSC) that is governed by Surf Life Saving (SLS) Queensland.
- Any new structure/s should be designed to withstand the marine environment now and into the future.

The stakeholders engaged had differing views on the type and style of the building. The variety of feedback received included:

- If the existing pavilion buildings cannot be repaired, then the replacement building/s should exactly replicate the current building.
- The current pavilion buildings should be replaced with building/s that provide greater amenity and wider community benefit.
- Any replacement building/s must be art deco.
- Any replacement buildings don't have to be Art Deco but should be iconic and more fitting with the local area.
- Functionality that better serves local users is more important than having buildings that replicate the existing buildings.
- The past use of the area as a bathing house is consistent with what is needed in the future - toilets and changing rooms are a must for bathers, casual exercisers, personal training, sporting and community groups, and other visitors that use the park.

6.3 People movement patterns and trends

In February 2022, Council undertook people movement data analysis to gain a deeper understanding of who, why and how people interact with the SBP site.¹⁵ People Movement data is geo or spatial data collected by user consent from mobile devices with location enabled apps. The people movement data analysis was based on a 13,782 individual data records from 1,468 individual devices, measured over a 3-month period. People Movement Data is a new information source that is currently being trialled and validated for its representative nature, as such it should be treated as indicative only. Visitations were recorded to various areas in the SBP complex (Figure 16).



Figure 16. Segmentation of areas of interest at the site (People Movement Data Analysis – Moreton Bay Regional Council Economic Intelligence Branch, 2022)

Findings of the study analysis provided some alignment with the outcomes of the community survey, although the latter was focussed on Suttons Beach and not SBP specifically. For example, the People Movement Data indicated that the catchment area for SBP is predominantly intraregional with about 60% of visitors from Moreton Bay and 25% from Brisbane, including a high concentration from the northern Brisbane City Council suburbs of Brighton and Bracken Ridge (Figure 17). Respondents to the community survey were also primarily from Moreton Bay region although the number was much higher at 92%, likely due the higher level of local interest in any development at the site and the wider scope of the survey. The people movement data analysis, not surprisingly, indicated that Redcliffe provided the most visitors from any one suburb to SBP. However, this amounted to only 6% of all visitations. The total number of home locations for visitors amounted to 324 suburbs, reflecting the attraction of Suttons Beach to intra-regional visitors from diverse locations.¹⁶

¹⁵ MBRC (2022), Suttons Beach Pavilion – People Movement Patterns and Trends.

¹⁶ Every care has been taken by Moreton Bay Regional Council to ensure the information contained is accurate and current. Notwithstanding this, Council makes no representation whatsoever regarding the accuracy, adequacy, suitability, completeness or reliability of the information and bears no responsibility for any mistakes, errors, or omissions. Accordingly, this information should not be relied upon for decision making purposes and independent professional advice should be obtained. To the full extent that it is able to do so, Council disclaims all liability (including liability in negligence) for losses and damages (including indirect or consequential loss and damage) caused by or arising from anyone using or relying on this information for any purpose whatsoever.

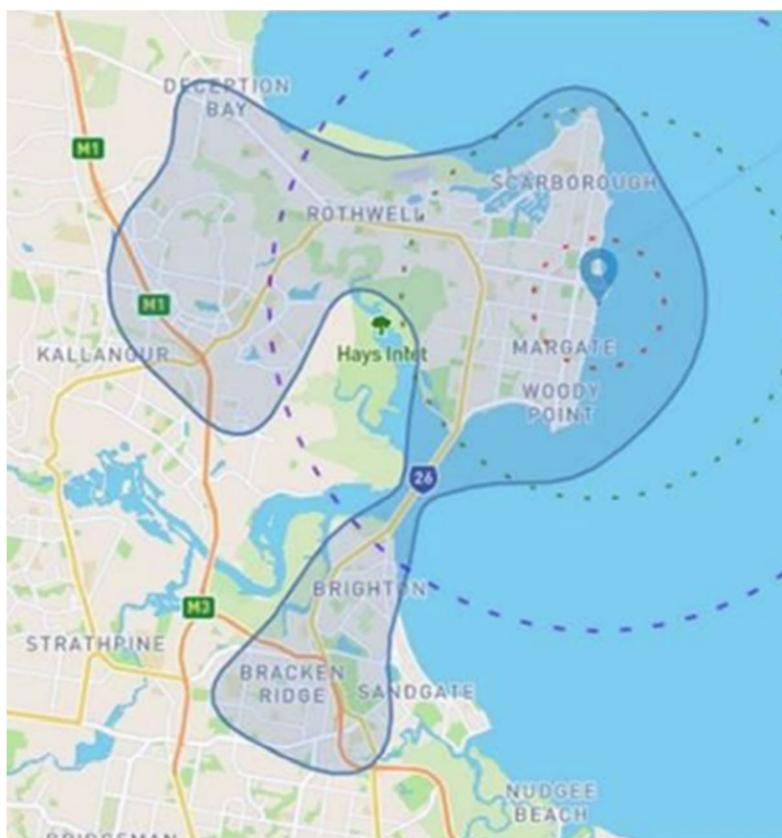


Figure 17. Dominant gravitational pull of Suttons Beach Pavilion (People Movement Data Analysis – Moreton Bay Regional Council Economic Intelligence Branch, 2022)

The data analysis also provided the following insights:

- an extremely small percentage of visitors spend time in the rotunda
- visitation to SBP is at its highest on Sunday with low numbers Mon-Thurs and only slightly higher numbers on Fridays
- repeat visitations was very low (17%)
- non-Redcliffe Moreton Bay residents spend the longest time at the SBP – not Redcliffe residents.

6.4 Summary

Stakeholders have highlighted the community interest in any future decision regarding the site and its future amenity.

The community survey and local engagement provides insights into how residents and visitors use Suttons Beach Park, and the amenities that would continue to enhance this experience. In terms of any future development of the site, the survey identified strong support for:

- public toilets
- places to purchase food and drink
- social amenities (grass and shade for picnics, picnic tables, BBQs)
- Council spending ratepayers' money on constructing replacement buildings
- retaining the rotunda.

The survey also highlighted the connections that residents from the Redcliffe Peninsula and other parts of the region have to Suttons Beach and SBP and strong support for restoring the existing SBP or building new structures that reflect the original 1930s building design.

The people movement data analysis highlighted the impact of SBP and the park on a much wider visitor catchment than the Redcliffe Peninsula. This analysis has also showed an extremely small number of visitors attending the park area spent any time at the rotunda whilst the survey does show strong support for maintaining this feature.

Engagement with the SBPPG and the Redcliffe Historical Society reiterated the importance of the history of the area and the building itself. Other engagements reinforced the need to consider how the area is used between casual beach users, groups who may use the area for exercise or endurance sports and visitors to the area.

Overwhelmingly, the main area of agreement from all engagement was the desire to maintain the green grass areas and for food and beverage to continue to be available at the site and to maintain the green open spaces. Coffee, fish and chips and ice-cream were suggested as well as the comment that these could be 'simple' and 'modest'.

7 Complexity of the Site

The site of SBP within Suttons Beach Park presents complex challenges for any refurbishment or rebuild that may be undertaken in the future.

These complexities include:

- significance of the place
- site suitability
- amenity provision for park users
- accessibility
- limited car parking and public transport
- future proofing for the seaside hazards
- urgency of reactivation.

These complexities extend beyond the existing buildings and were considered as part of the multi-criteria analysis done to refine the options longlist to the options shortlist (Section 13). These complexities will remain a key consideration for any option/s that are progressed.

7.1 Significance of the place

Past cultural heritage investigations (Section 5) indicate the stairs from Marine Parade are of 'Exceptional' heritage value. The preservation of these stairs, and how they are integrated into any building and landscaping design going forward must be considered.

Further, the significance of the place extends beyond the heritage value of the structures. Community engagement undertaken by Council has confirmed strong community connections with SBP, Suttons Beach Park and Suttons Beach. People value:

- memories they hold of experiences had at SBP and/or the surrounding park and beach with family and friends
- recreation of nostalgic experiences from the past (e.g. childhood visits to the site with grandparents now recreated with their own grandchildren)
- attributes of the rotunda (Section 4.2)
- enjoying the natural surrounds and relaxed atmosphere
- that the site has something to offer everyone and can be used for multiple purposes, such as meeting friends, having a picnic or BBQ, entertaining children, private events, public events, exercise and sporting pursuits.

7.2 Site suitability

The suitability of Suttons Beach Park for specific uses may be limited by the physical constraints of the site. These same physical constraints may also influence the design of any future buildings on the site.

The physical constraints of the site include:

- surface water runoff and ground water levels create risks for water ingress - serious defects caused to P1 demonstrate the impacts of this issue
- approximately 10 m elevation difference between Marine Parade and Suttons Beach Park that isolates the site from the local business precinct and main vehicular movement route
- project site is located at the dead end of the park access road (and separated from Marine Parade) resulting in poor street frontage for buildings
- lack of proximity to other community services
- limited car parking and access to public transport
- shared access with beach and park users.

In February 2021, as part of Council's broader facility network planning, Suttons Beach Park was found to be an inappropriate location for a district-level community hall due to many of the above site constraints.

7.3 Amenity provision for park users

The Suttons Beach precinct provides a range of outdoor recreation opportunities at a local level while supporting a broader tourism offering.

An attractive seaside location with an expansive unstructured green space, it is synonymous with Australian beach culture and has many of the features found at nearby beachside parklands. The SAOA provides a focus on the complex that sits within this parkland area however, consideration of the broader context is integral to the site's future use.

Some of the key features of the precinct include:

- shaded places to sit, handy parking and open spaces for community events
- accessible to pedestrians and other active transport users
 - pedestrian links through and around the site connecting the SLSC and Settlement Cove Lagoon to the north, parks to the south and businesses to the west.
 - it is on both a coastal recreational trail as well as being part of the Moreton Bay cycleway.
- space for businesses, and sporting and community groups like health, fitness and recreational providers
- family friendly, surf life saver patrolled beach with small waves that provide a fun splash area for young children and others alike.

Any future investment in the site should consider bolstering local enjoyment and tourism attraction opportunities by for example:

- adding facilities that increase dwell time in the area and local spend
- creating flowing connection and activation between Marine Parade, through the park, to the beach
- incorporating viewing corridors and public viewing points that allow visitors to take in the vista and form spectacular backdrops for imagery that promotes the location
- supporting activations by providing ancillary services such as smart poles, bubblers, seating and pathways
- meeting expressed needs of user groups (including long standing permit holders) such as community storage, shared meeting spaces and outdoor shower facilities
- investigating social enterprise and other potential community benefits.

7.4 Accessibility

An important part of ensuring Council's communities have opportunities to enjoy a vibrant lifestyle is the provision of accessible public spaces. In an October 2020 media statement, Mayor Peter Flannery said he wanted Moreton Bay region to become the most accessible tourism region in South East Queensland.

Suttons Beach Park currently has:

- park access ramp connecting Marine Parade to the park carpark (this ramp also ties in with the access stairs and may require upgrades to ensure full Disability Discrimination Act (DDA) compliance)
- pathways connecting the carpark to the foreshore concourse
- beach access ramp between the foreshore concourse and the beach
- access matting across the sand so prams, walkers, wheelchairs, and other mobility devices can more readily access the waters' edge.

To complement the existing accessibility infrastructure at Suttons Beach Park and further enhance inclusion and enable people with high support needs to be more active and engaged in their local community, a Changing Places facility and beach wheelchair storage has been proposed for this location.

Changing Places are a type of adult change facility that enable people with high support needs and their carers to access public toilets in a dignified, hygienic and safe way. They differ from standard accessible toilets as they are larger and equipped with a range of specialised equipment, such as height-adjustable change table, ceiling hoist, peninsular toilet and in this location, a shower.

Space for storage of beach wheelchairs that could be available from Council for free hire is also proposed for this location.

7.5 Future proofing for seaside hazards

The design of building structures in harsh marine environments, like those in Suttons Beach Park, should consider and aim to minimise impacts on the building. Factors to be considered include but are not limited to: corrosion resistance, structural stability (winds, waves and/or flooding), waterproofing, ventilation, elevated foundations, impact resistance (i.e. flying debris) and ease of maintenance (e.g. removal of salt deposits).

Council's Coastal Hazard Adaptation Strategy (CHAS) reviewed the impacts of storm tide and tidal inundation, and coastal erosion for the Moreton Bay region. While Suttons Beach Park experiences wind and sea air impacts due to its location, it only experiences very minor storm tide inundation due to the steep beach profile and existing seawall. Overtopping of the existing seawall and impact to the existing building footprint is only predicted to occur during a 0.1% Annual Exceedance Probability (or greater) storm tide event at the year 2100. Suttons Beach Park is currently mapped in the Planning Scheme Coastal Hazard Overlay - Erosion Prone Area. However, the CHAS has identified that this erosion prone area should be reduced to 10m from the existing seawall at this location and will be considered as part of future updates to the Planning Scheme.

7.6 Urgency of reactivation

SBP has been closed since February 2022. The site is enclosed by security fencing and under 24 security surveillance. The dilapidated state of the buildings negatively impacts on the aesthetic appeal of the Suttons Beach Park and creates the risk of antisocial behaviour. Beach access via the stairs from Marine Parade is also currently closed.

As interim amenity provisions Council has put in place:

- demountable toilet facilities in the park for park users and beach goers
- three bookable sites (allocated car park bays) in Suttons Beach car park for mobile food/coffee vans that are registered in the Moreton Bay Pop Up program.

Social media posts and other community feedback to Council continue to indicate dissatisfaction with interim amenities, aesthetic impacts of the dilapidated buildings, lack of permanent solutions and duration taken to complete the recent building testing and decide the future of the existing SPB buildings.

Reactivation of Suttons Beach Park is urgently needed to address these issues and ensure it remains a safe and amazing place that Moreton Bay residents and visitors can continue to enjoy.

8 Problems and Service Needs

8.1 Approach

The process to identify specific problems and service needs for Suttons Beach involved the following:

- review of expert investigations
- stakeholder discussions
- internal discussions with subject matter experts within Council
- assessment of planning requirements including assessment benchmarks
- review of Council Corporate Plan and alignment with the Outcomes.

A summary of the outcome of these investigations, that were considered in defining the problems and service needs is detailed below.

8.2 Council's outcomes

In 2022, Council adopted the Moreton Bay Regional Council Corporate Plan 2022-2027. This plan sets out a long-term vision for the future of the Moreton Bay region and a roadmap for the next five years and beyond. The roadmap is structured around five strategic pillars to achieve Council's vision: **Our Moreton Bay. Amazing places. Natural spaces.** Each pillar includes a goal and outcomes that set the strategic direction for where Council wants to be by 2033. It is integral the SAOA aligns to these outcome areas.

Table 6 lists the **relevant** outcomes for each pillar to SBP and this SAOA. The full list can be found in the Corporate Plan

Pillar	Goal	Outcomes
Our Vibrant Communities	By 2033, our Moreton Bay will have vibrant communities that proudly come together to participate in and celebrate different cultures and life experiences, with access to the services and facilities they need.	<ul style="list-style-type: none"> • <i>Our communities make healthy and active lifestyle choices and have access to the services and facilities they need.</i> • <i>Our communities embrace opportunities for participation in creative experiences and celebrate our stories, cultures and identities.</i> • <i>We have respectful, inclusive and engaged communities that value diversity and sustain connections to people and places.</i>
Our Healthy Environments	By 2033, our Moreton Bay will be renowned for its healthy natural and built environments that enhance our identity, support biodiversity and our sustainable lifestyles	<ul style="list-style-type: none"> • <i>Our neighbourhoods, buildings and infrastructure support sustainable living.</i> • <i>We understand and proactively respond to climate change and natural hazard risks.</i>
Our Well-Planned Places	By 2033, our Moreton Bay will be a network of well-planned and connected places and spaces, enhancing lifestyle, accessibility and employment choices.	<ul style="list-style-type: none"> • <i>We have well-planned neighbourhoods that support changing communities, respect cultural heritage and enjoy a unique sense of place.</i> • <i>We have well-planned centres and precincts that support our progressive local economy and identity.</i> • <i>We have infrastructure that integrates with surrounding land use and supports our growing communities.</i>
Our Progressive Economy	By 2033, our Moreton Bay will have a progressive and robust economy that capitalises on its unique competitive advantages, partnerships and technology	<ul style="list-style-type: none"> • <i>We have a thriving local economy that builds our business reputation and supports our investment credentials.</i> • <i>We provide a supportive environment to grow local businesses, industry and jobs and help them realise opportunities in the circular economy.</i>

Pillar	Goal	Outcomes
Our Engaged Council	By 2033, our Moreton Bay Regional Council will be an accountable, transparent, engaged and responsive organisation committed to great customer experiences and continuous innovation in service delivery.	<ul style="list-style-type: none"> • <i>We are leaders in good governance and sustainably manage our finances and assets.</i> • <i>We actively plan for the future and advocate in the best interests of our communities.</i> • <i>Our communities are engaged, heard and informed.</i> • <i>We are responsive, trusted and provide great customer experiences.</i>

Table 6. Council's priorities expressed as goals and outcomes as per the Corporate Plan

8.3 Problems and service need response

Defining the problems sets the foundation for future investment consideration. The problems defined below are supported by sound evidence while the service need response focuses on why the problem needs addressing rather than focussing on potential solutions.

As discussed in 1.1, Council's decision to close SBP was due to the seriously deteriorating condition of the buildings, concerns with the structural integrity of key building components, increased concerns about public safety for staff and the wider public, and the need to undertake comprehensive testing to conclusively determine the structural condition of the buildings. The problems and service need responses identified in Table 7 were based on evidence and findings presented earlier in this document.

Table 7 outlines the key problems facing SBP and the service need response.

Problem statement 1	Deteriorating condition of SBP resulting in safety, operating and maintenance risks
Description	<ul style="list-style-type: none"> • The deteriorating condition of SBP including structural integrity of key building components and safety hazards for staff and the wider public • Significant and ongoing water ingress resulting in prohibitive maintenance costs or refurbishment costs • Workplace health and safety concerns • Details outlined in the Covey Report 2022 which suggests the current state of Pavilion 1 requires extensive and complicated remediation and rectification to make it serviceable.
Service need response	Responsible investment of ratepayers' money that delivers infrastructure that is sustainable to maintain and operate, and is fit for purpose
Alignment to Council's outcomes	<ul style="list-style-type: none"> • Our communities make healthy and active lifestyle choices and have access to the services and facilities they need. • We have respectful, inclusive and engaged communities that value diversity and sustain connections to people and places We understand and proactively respond to climate change and natural hazard risks. • Our neighbourhoods, buildings and infrastructure support sustainable living. • We are leaders in good governance and sustainably manage our finances and assets. • We actively plan for the future and advocate in the best interests of our communities.
Problem statement 2	Closure of the building resulting in reduced amenity for community

Description	<ul style="list-style-type: none"> The closure of the building resulted in the loss of food and beverage services, public toilets and changing facilities at Suttons Beach for visitors and locals. Reduced activation and visual amenity of the area due to secured closed buildings The security fencing and closure have caused a loss of connectivity between Marine Parade and the foreshore due to the closed stairs. Presence of accessibility infrastructure with limited supporting facilities Jobs and employment have been lost through the closure of the SBP complex.
Service need response	Deliver amenities which respond to community need and delivers community benefit
Alignment to Council's outcomes	<ul style="list-style-type: none"> Our communities make healthy and active lifestyle choices and have access to the services and facilities they need. We have respectful, inclusive and engaged communities that value diversity and sustain connections to people and places. We have well-planned centres and precincts that support our progressive local economy and identity. We have infrastructure that integrates with surrounding land use and supports our growing communities. We have a thriving local economy that builds our business reputation and supports our investment credentials. We provide a supportive environment to grow local businesses, industry and jobs and help them realise opportunities in the circular economy Our communities are engaged, heard and informed.
Problem statement 3	Potential demolition of buildings resulting in perceived loss of cultural heritage value, history and community connection to site
Description	<ul style="list-style-type: none"> The former bathing pavilion remained on the site unchanged between 1937 and 1975 and was altered dramatically in 2002 with the addition of a function centre and extension to the original building resulting in its current faux art deco façade. The people in the community have or feel connection to Suttons Beach, the parkland, and buildings. Many have had private and family events at Suttons Beach creating connection to the site and the perceived cultural heritage of the buildings.
Service need response	Delivery of infrastructure that respects the cultural heritage value, history and community connection to the site
Alignment to Council's outcomes	<ul style="list-style-type: none"> Our communities embrace opportunities for participation in creative experiences and celebrate our stories, cultures and identities. We have respectful, inclusive and engaged communities that value diversity and sustain connections to people and places. We have well-planned centres and precincts that support our progressive local economy and identity. We have well-planned neighbourhoods that support changing communities, respect cultural heritage and enjoy a unique sense of place. We have infrastructure that integrates with surrounding land use and supports our growing communities. Our communities are engaged, heard and informed. We are responsive, trusted and provide great customer experiences

Table 7. Key problems and service need response

9 Targeted benefits

9.1 Approach

The benefits outlined in this SAOA provide an initial description of what the potential solutions and then options aim to achieve. Future investigations should explore these benefits in more detail and seek to qualitatively assess the return or value that would be achieved by the implementation of any option that is progressed. This should include assessing the social values with consideration to key stakeholders and affected communities.

The benefits have been identified on the basis that any future proposal should:

- Respond to the service need.
- Ensure alignment to Council's outcomes as defined in the Corporate Plan and associated strategies.
- Consider Council's budget for capital works and maintenance within a regional context. Noting a key risk of the project is that there is no funding.

9.2 Benefits identification

The following targeted benefits (Table 8) outline the value proposed or outcomes sought to be derived from investment in a potential solution.

Problems	Service needs	Targeted Benefits	Future Measures
Deteriorating condition of SBP resulting in safety, operating and maintenance risks	Responsible investment of ratepayers' money that delivers infrastructure that is sustainable to maintain and operate, and is fit for purpose.	<ul style="list-style-type: none"> • Solution that meets potential funding opportunities • Building compliance with national codes and standards • Infrastructure that is sustainable to maintain and operate • Safe, accessible visitor environment • Limited building failures • Resilient to marine environment 	<ul style="list-style-type: none"> • Yearly maintenance and operating costs. • Audit against relevant building standards • Yearly maintenance and operating costs. • No. of defects
Closure of the building resulting in reduced amenity for community	Delivery of infrastructure that is fit for purpose, where the purpose responds to community need and delivers community benefit	<ul style="list-style-type: none"> • Provision of public toilets and changing rooms • Provision of hospitality spaces which are consistent with environment and add to amenity • Design that responds to actual community need resulting in increased utilisation • Provision of accessible and inclusive facilities complimentary to existing facilities. 	<ul style="list-style-type: none"> • Community Sentiment • Visitation Numbers • Public Permits • Events • People Movement Data Analysis
Potential demolition of buildings resulting in perceived loss of cultural heritage value, history and community connection to site	Delivery of infrastructure that respects the cultural heritage value, history and community connection to the site.	<ul style="list-style-type: none"> • Cultural heritage value of the site is respected • Consideration of community feedback within future design. • Future design/function reflects and connects to cultural heritage • Heritage/history respected through design, use of displays and other means 	<ul style="list-style-type: none"> • Historical significance preserved or celebrated • Community outcomes achieved • Historical inclusions in future proposals

Table 8. Benefits identification

10 Base case

The base case is used to benchmark against all other options and represents a realistic, practical assessment of the business-as-usual (BAU) state or ‘do nothing’.

This proposal acknowledges that it is not an option to operate SBP in a business-as-usual status, which ordinarily would be considered. Council cannot elect to ‘do nothing’ given the reasons outlined in previous sections and the problem statements including and not limited to:

- Serious structural and non-structural defects have been identified in SBP and the complex has been closed since February 2022.
- Pavilion 1 and Pavilion 2 remain closed off with security fencing and the site is under 24-hour security surveillance.
- Building testing for the Covey Report 2022 (invasive and non-invasive) has required most of the internal cladding in P1 to be removed and significant sections of cladding in P2 to be removed.
- There remains significant health and safety issues in the building as documented in the Covey Report 2022.

For this SAOA the base case is defined as follows:

Base Case Definition	Refurbish P1 and P2 (Base case)
Description	The buildings cannot remain as is, so the base case proposes: <ul style="list-style-type: none"> - Refurbishing the building in the same style - Retaining the functionality of the current complex
Response to service need	<ul style="list-style-type: none"> • Delivery of infrastructure that is fit for purpose, where the purpose responds to community need and delivers community benefit • Delivery of infrastructure that respects the cultural heritage value, history and community connection to the site community connections to the place

The rationale for this:

- refurbishment of the structure would be the BAU approach if technically and economically feasible and the complex could be maintained.
- community unrest about loss of amenity and perceived loss of cultural heritage values, history and community connection to the site relate to the current SBP complex and its closure.

The base case will be an automatic inclusion for comparison purposes in the long list of options (Section 10.2) and the shortlist of options (Section 11).

11 Potential solutions

11.1 Approach

Identifying potential solutions was the first stage of determining a recommended option/s for SBP (Figure 18).

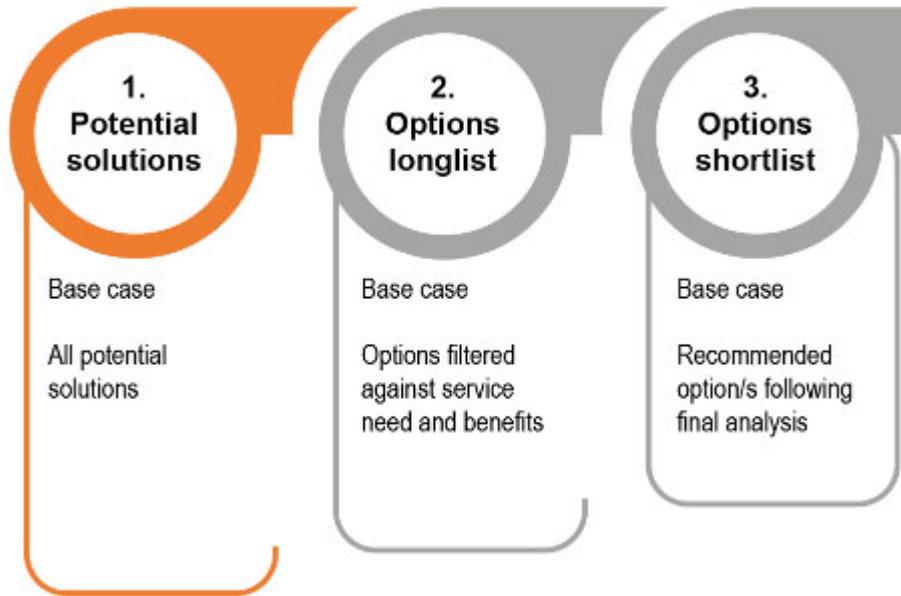


Figure 18. Place of potential solutions in options identification process

The following steps were undertaken to determine:

- exploring potential treatments of the existing buildings
- determining which treatments will be progressed to the next stage
- identifying alternatives beyond refurbishing the existing buildings.

Alternative treatments were generated following wide consultations with stakeholders and requiring that options should:

- address the service need.
- be capable of realising the benefits.

A Project Working Group (PWG) provided guidance, direction and review to ensure that the analysis of potential solutions was in-depth, relevant and aligned with project objectives.

A wide range of options were proposed and reviewed by the PWG with assistance from subject matter experts. In addition to strategic relevance, various treatments were considered against stakeholder engagement outcomes and key findings from technical investigations.

11.2 Potential building treatments

At a high level there are three possible treatments for the existing buildings:

- Retain and refurbish
- Demolish and rebuild
- Demolish and NOT replace.

Figure 19 shows how these treatments could be applied in nine different combinations to the existing buildings.

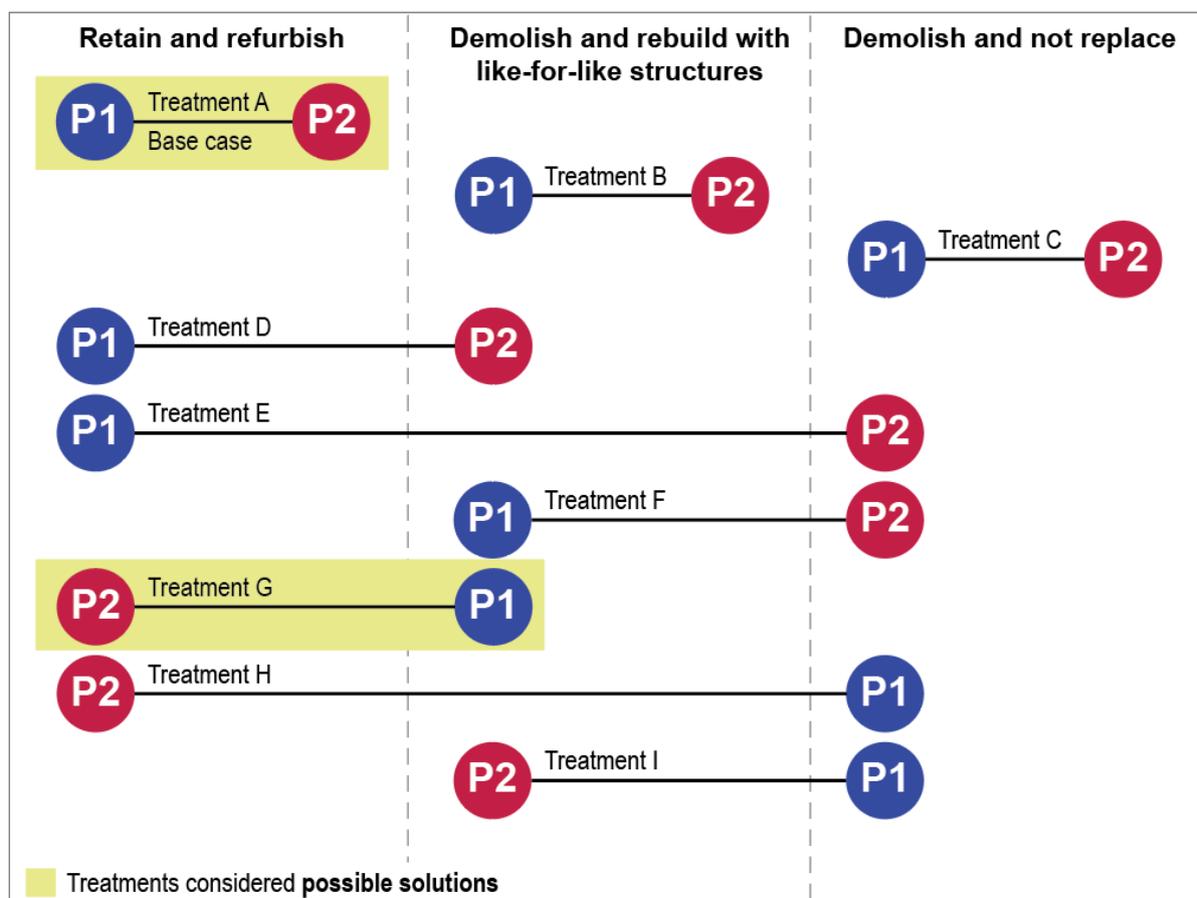


Figure 19. Different treatments that could be applied to the existing buildings

Further treatments were generated to respond to the problems identified and to meet the identified service need for each. These options were reviewed by the PWG and refined following consultation with subject matter experts to ensure they provided benefits that were relevant and targeted.

It should be noted that partial demolition (i.e. retaining only certain parts of the existing structure for incorporation into a new structure) has been excluded. For example, demolishing parts of the P1 and retaining other part/s of it for integration into a new structure. Risks and costs associated with construction, design and future operating and maintenance of the structure, were considered to be too high for this to be a valid option to investigate further.

From the nine treatment options, only two were considered suitable to progress as possible solutions:

- Treatment A: Retain and refurbish P1 and P2 (Base case)
- Treatment G: Demolish and rebuild P1, retain and refurbish P2.

11.3 Potential solutions list

Following the investigation of possible building treatments, the two treatments, Treatment A (Base case) and Treatment G (potential solution 2 below, were considered possible solutions and brought forward.

All additional potential solutions involved demolishing the existing buildings and replacing them with a new alternative. Table 9 summarises all the potential solutions and provides a brief description of the solution.

All potential solutions retain the existing stairs linking SBP to Marine Parade and include public toilets and change rooms with a changing places facility.

No.	Potential solution	Description
1	Refurbish P1 and P2 (Base case)	Refurbish P1 and P2 in same style and architectural design, and same functionality as current complex
2	Demolish and rebuild P1 and refurbish P2	Demolish and rebuild P1 in same style and refurbish P2 with same functionality as current complex
3	Demolish existing complex, build Surf Life Saving Club	Demolish existing complex, build Surf Life Saving Club including hospitality spaces and functions rooms
4	Demolish existing complex, new structure with public amenities, hospitality space on ground floor and flexible function spaces above	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings on ground floor and with flexible function spaces, and commercial kitchen above.
5	Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings on ground floor, second level for 'rooftop' public space.
6	Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only	Demolish existing complex, build public amenities and hospitality spaces that could support food and beverage offerings, ground level only. Future proof for additional level to be added later.
7	Demolish existing complex, build new structure with public amenities and prefabricated building modules for hospitality	Demolish existing complex, build public amenities and prefabricated building modules with kitchen facilities to enable food and beverage offerings (e.g. coffee, ice creamery, fish and chip shop)
8	Demolish existing complex, new structure for public amenities and All Abilities Playground	Demolish existing complex, install public amenities, All Abilities Playground and landscape public open space with activation sites for coffee/food trucks
9	Demolish existing complex, new structure for public amenities only	Demolish existing complex, install public amenities and landscape public open space with activation sites for coffee/food trucks

Table 9. Potential solutions

12 Options longlist

Moving from the potential solutions to the options longlist was the second stage of determining a recommended option/s for SBP (Figure 20).

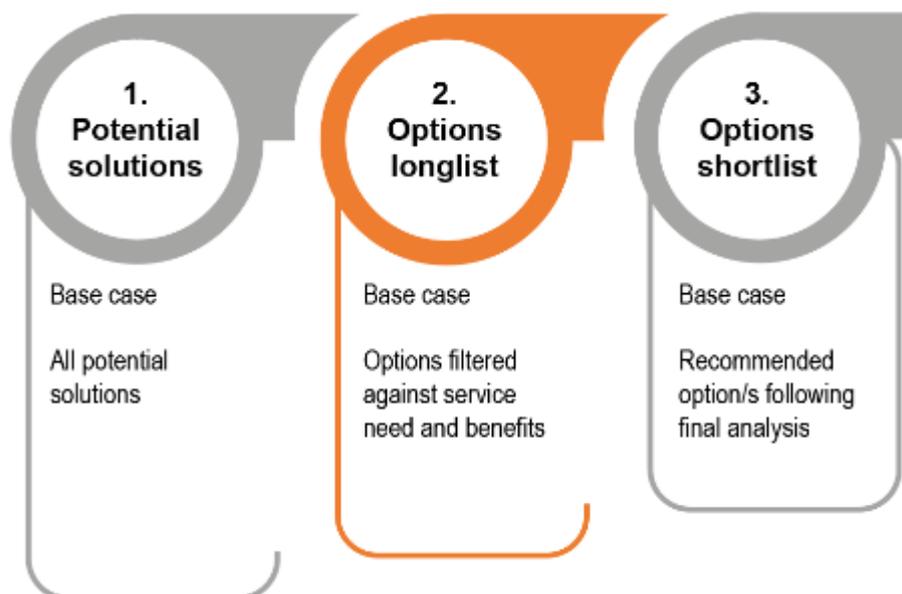


Figure 20. Place of the longlist in options identification process

The options longlist was generated by:

- reviewing previous Council option assessments
- discounting solutions that were considered not viable
- reviewing the list of potential solutions and consulting within the PWG and subject matter experts to refine potential solutions into options, reviewing the solutions against the service need and benefits.

Note, the base case carries through to the longlist to allow comparison against all options.

12.1 Assessment outcome

The potential solutions were assessed against the service need and benefits and Solution 7 was found to provide less benefits and Solution 8 is considered a duplication for reasons outlined below. Therefore, these solutions do not continue to the longlist for the purposes of options analysis.

7. Demolish existing complex, new structure with public amenities and prefabricated building modules for multiple food and beverage offerings.
 - a. This option did not provide the benefits of:
 - i. permanent hospitality spaces which enhance amenity
 - ii. sustainable to maintain and operate and resilient to the marine environment
 - iii. cultural heritage and history of site is respected, and community connection is enhanced.
 - b. This option is unlikely to:
 - i. increase utilisation of the area by responding to actual community needs,
 - ii. be fully compliant with national codes and standards.
8. Demolish existing complex, new structure for public amenities and All Abilities Playground
 - a. This option is the same as option 9 with the addition of the All Abilities Playground.

- b. The All Abilities Playground is a use consistent with the several of the benefits identified and could be considered for inclusion in any redevelopment option taken forward to the next stage.
- c. It was decided to not progress Solution 8 to the long list of options as it duplicates Solution 9 and the inclusion or non-inclusion of the All Abilities Playground is not the focus of the options assessment for SBP.

Table 10 summarises which potential solutions were retained on the options longlist and which were disregarded based on the approach described above.

No.**	Potential solution***	Assessment
1	Refurbish P1 and P2 (Base case)	Proceed to longlist
2	Demolish and rebuild P1 and refurbish P2	Proceed to longlist
3	Demolish existing SBP complex, build Surf Life Saving Club	Proceed to longlist
4	Demolish existing complex, new structure with public amenities, hospitality space on ground floor and flexible function spaces above	Proceed to longlist
5	Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space	Proceed to longlist
6	Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only	Proceed to longlist
7	Demolish existing complex, build new structure with public amenities and prefabricated building modules for hospitality	Disregard
8	Demolish existing complex, new structure for public amenities and All Abilities Playground	Duplicate
9	Demolish existing complex, new structure for public amenities only	Proceed to longlist

**Solution numbers are not indicative of preference; they have been assigned for the purpose of identification only.

*** Noting the All Abilities Playground remains a recommendation for the parkland outside of the SBP Complex considerations

Table 10. Potential solutions

12.2 Final Options Longlist

The following longlist was recommended to proceed to the next step in the assessment (Table 11).

No.**	Options
1	Refurbish P1 and P2 (Base case)
2	Demolish and rebuild P1 and refurbish P2
3	Demolish existing SBP complex, build Surf Life Saving Club
4	Demolish existing complex, new structure with public amenities, hospitality space on ground floor and flexible function spaces above
5	Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space
6	Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only
9	Demolish existing complex, new structure for public amenities only

**Option numbers are not indicative of preference; they have been assigned for the purpose of identification only.

Table 11. Final options longlist

13 Options shortlist

This section details how the options longlist was refined to create the options shortlist that could potentially meet the service needs and deliver the targeted benefits (Figure 21).

13.1 Approach

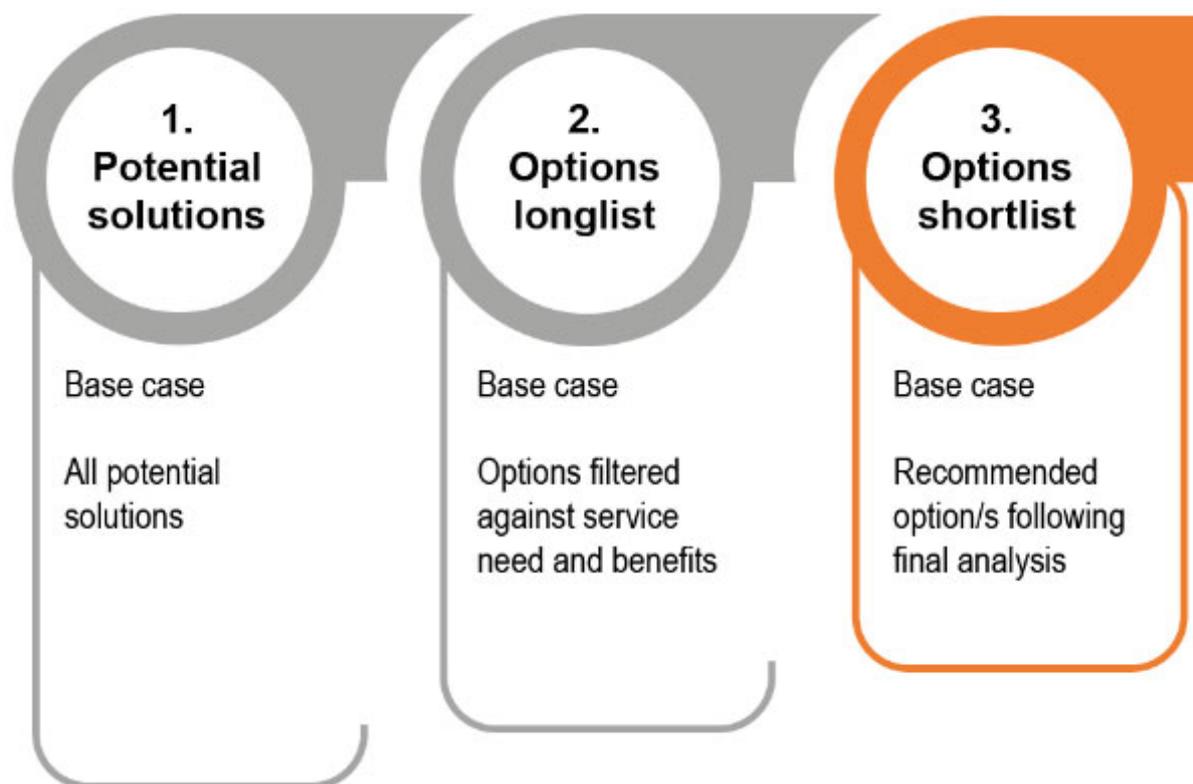


Figure 21. Place of the shortlist in options identification process

To progress from the options longlist through to a recommended short list, a multi-criteria analysis (MCA) was undertaken to ensure a direct link between the service need (section 6) and benefits (section 7) for each solution.

MCA is an analysis process that scores and rates options against multiple criteria that are linked to the service need and problem statements. When applied consistently and transparently, it is a suitable approach for filtering options before applying more detailed cost benefit analysis (CBA). The MCA is used to reduce the list of options to a reasonable number that can be analysed using CBA. In addition, MCA provides a way of analysing options against impacts that are important to decision-makers but which cannot be readily quantified and costed.

The approach involved the following key steps:

- Progression of the long list options through to a high-level building concepts for the purposes of costing
- Development of Indicative Probable Order of Cost of the options given the level of detail for the purposes of completing a MCA
- Design, analysis and interpretation of all results through a MCA

13.2 Multi-criteria analysis (MCA)

The MCA was used to compare the long list of options providing an opportunity to apply more detailed quantitative analysis and impacts as defined in the problem statements which are not easily quantifiable.

The process used the following key framework:



The service need provides the outcomes targeted for any future proposal and is key to defining the criteria and weighting.

The **criteria** were defined to assess against each service need statement and each criteria carries a weighting to show its relative importance (Table 14). Each option was then scored against each criterion so that a combined score out of a 100 can be calculated for comparison purposes. This MCA enables a suitable approach for filtering options before applying more detailed quantitative analysis.

Scores from the analysis were also graphed to illustrate the impact of each criterion.

13.3 Service needs and criteria

The design of the MCA involves the linking of the assessment criteria back to the service need. The selection of the criteria and subsequent assessment of these criteria collectively will address the question “What makes one option a better choice than another option?”

Table 12 shows how the service need links to key themes which links to the assessment criteria. The development, selection and approval of the assessment criteria involved broad and extensive consultation in line with the governance procedures.

Service needs	Key themes informing criteria	Criteria Name for MCA
Responsible investment of ratepayers’ money that delivers infrastructure that is sustainable to maintain and operate and fit for purpose	Confidence that infrastructure works can sustainably mitigate existing building defects	Mitigation of Defects
	Cost to deliver the proposed infrastructure based on indicative building concepts and existing floor structures	Capital cost
	Ease and efficiency with which structures can be built where structure complexity influences the delivery time and costs	Construction complexity
	Level of confidence that future maintenance and operating risks* will be mitigated	Maintenance and operation
Deliver amenities which respond to community need and delivers community benefit	Scope for the option to meet community needs includes: <ul style="list-style-type: none"> Public toilets and showers Places to purchase food and drinks Grass and shade for picnics Car parking, and consider the limited space for parking when considering options for the site Picnic tables Accessibility requirements 	Community Need and benefits

Delivery of infrastructure that respects the cultural heritage value of the site and community connections to the place	Scope for the design of the option to respect the history, cultural heritage values, including the 1937 bathing pavilion, and community connection to the place	Respectful of Context
All Service Need Statements	Strength of the strategic alignment to Council outcomes	Strategic alignment

*Commercial viability has not been considered under this criterion and is to be considered separately

Table 12. Alignment of MCA criteria with service needs

13.4 Informing the MCA

13.4.1 Building Concepts

To inform the multi-criteria analysis, basic building concept drawings were prepared for each option, detailing key components including Gross Floor Area (GFA), kitchens, lift, public amenities, and approximate room layout.

These concept drawings are only used to understand the potential Ground Floor Areas (GFA) of each individual option and consider facilities offered within each option rather than architectural design, details or aesthetics.

The floor plans were prepared by a Council architect for long list Options 3 – 6 for the purposes of further analysis. These are presented in Appendix 5.

The existing SBP floor plans were used for Options 1 and 2.

In addition to informing quantity surveying, the concept drawings provide:

- a comparison with the current SBP complex gross floor area (GFA)
- a view of offset from the cliff embankment to avoid surface and subsurface water damage and how this interacts with building dimensions when setback from the foreshore is maintained.
- supporting material for the design brief for the recommended option as the project progresses.

13.4.2 Capital costs

Building concepts and supporting information were provided to a quantity surveyor to allow the preparation of Indicative Probable Order of Costs for each option.

These concepts and supporting information allowed an external quantity surveyor to prepare a Indicative Probable Order of Cost for each option. In the analysis, costs for each option are presented as a range (band) to reflect confidence levels at this early stage of the options assessment. These indicative costs, while not based on detailed design, provide a consistent basis for cost comparisons between the options (Table 13).

The existing SBP floor plans were used for Options 1 and 2 as costs were calculated on refurbishment and/or replacement with a similar structure. These floor plans were provided to the same external quantity surveyor to prepare an Indicative Probable Order of Cost for each option.

The cost estimates for Option 1 and 2 which include refurbishment were revised after the release of the Covey Report 2022 and account for the additional information presented in the Covey Report 2022.

Council building experts used the same information and the external quantity surveyor to prepare Indicative Probable Whole of Life Cost estimates.

No.**	Option Description	Indicative Probable order of cost (\$ m)	Indicative Probable Whole of life costs (\$m)
1	Refurbish P1 and P2 (Base case)	\$16 - \$22M	\$60.5M
2	Demolish and rebuild P1 and refurbish P2	\$10M - \$20M	\$48.2M
3	Demolish existing SBP complex, build Surf Life Saving Club	\$9.4M - \$18.8M	\$38M
4	Demolish existing complex, new structure with public amenities, hospitality space on ground floor and flexible function spaces above	\$12.2M - \$24.5M	\$49.1M
5	Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space	\$6.7M - \$13.5M	\$27.3M
6	Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only	\$6.3M - \$12.6M	\$21.5M
9	Demolish existing complex, new structure for public amenities only	\$4.6M - \$9.2M	\$11.5M

**Option numbers are not indicative of preference; they have been assigned for the purpose of identification only.

Table 13. Capital and Indicative Whole of Life, Indicative Probable Order of Cost

13.4.3 Weighting and Scoring framework

Each criterion was assigned a weighting to show its importance relative to other criteria (Table 14). The process of assigning the weighting to each criteria involved a similar consultation process to the determination of the criteria.

Each option was scored against each criterion so that a combined score out of a 100 can be calculated for comparison purposes. Scores were also graphed to illustrate impact of each criterion.

Assessment criteria	Weighting
Mitigation of defects	20%
Capital cost	15%
Construction complexity	10%
Maintenance and operation	10%
Community - Provide valued services/benefits	20%
Respectful design	15%
Strategic alignment	10%
Total (%)	100%

Table 14. Assessment criteria

Score ratings are used to assess the options consistently against of each criterion and to measure the performance of the option with respect to these criteria. This involved assigning a numerical score to each option based on its performance with respect to each criterion. Definitions and a pre-defined scale (0-5) relative to the best and worst performing alternatives were articulated in Table 15. Score ratings were then converted to percentages as above for purposes of analysis.

Category	Score					
	0	1	2	3	4	5
Mitigation of defects	Existing - No defects rectified	Existing - Repairs temporary/ leave residual risk	Existing - Repairs thorough /some residual risk	Existing - All identified defects rectified	Existing - Major repair works to future proof building	New build
Capital cost	N/A	>\$16M	\$13-16 M	\$9-13M	\$5-9M	< \$5M
Construction complexity	Impossible	Hard - many problems to overcome across multiple issues	Difficult - many problems to overcome across limited issues	Moderate - some problems	Easy - few problems	Simple - no material problems
Maintenance and operation	N/A	High	Medium/High	Medium	Low/Medium	Low
Community - Provide valued services/benefits	N/A	Strongly disagree	Disagree	Neutral	Agree	Strongly agree
Respectful of context	N/A	Strongly disagree	Disagree	Neutral	Agree	Strongly agree
Strategic alignment	N/A	Strongly disagree	Disagree	Neutral	Agree	Strongly agree

Table 15. Assessment criteria scoring framework

13.5 Analysis outcomes

13.5.1 Multicriteria analysis results

The initial scoring workshop was held on 8 Nov 2022 with Council stakeholders and reviewed by the working group and Project Steering Committee. The MCA scoring was reviewed on 13 Feb 2023 following the review of the Covey Report 2022 by a wider group of Council officers. The updated MCA scores are presented in this report.

The multicriteria analysis presents a score for each option against each of the weighted criteria. Scores for each criterion are then accumulated to provide a total score out of a maximum of 100.

In terms of the total scores, the options ranked in the following order with Option 6 the highest and the Base Case the lowest (Table 16 and Figure 22):

- **Option 6. Score (78)** Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only
- **Option 5. Score (74)** Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space
- **Option 9. Score: (73)** Demolish existing complex, new structure for public amenities only
- **Option 3. Score: (60)** Demolish existing complex, build Surf Life Saving Club
- **Option 4. Score: (58)** Demolish existing complex, new structure with public amenities, hospitality space on ground floor and community hall above
- **Option 2. Score: (50)** Demolish and rebuild P1 and refurbish P2
- **Option 1. Score: (40)** Base case – Refurbish P1 and P2

Criteria	Weighted Score for Option						
	1: Refurbish P1 and P2 (Base case)	2: Demolish and rebuild P1 and refurbish P2	3: Demolish existing complex, build Surf Life Saving Club	4: Demolish existing complex, new structure with public amenities, hospitality space on ground floor and flexible function spaces above	5: Demolish existing complex, new structure with public amenities, hospitality spaces and 'rooftop' public space	6: Demolish existing complex, new structure with public amenities and hospitality spaces, ground level only	9: Demolish existing complex, new structure for public amenities only
Mitigation of Defects	8	12	20	20	20	20	20
Capital cost	3	3	3	6	9	9	12
Construction Complexity	2	4	6	6	8	8	10
Maintenance and operation	2	6	6	6	4	8	9
Valued services and benefits for community	12	12	12	12	16	16	8
Respectful of Context	9	9	9	6	9	9	6
Strategic alignment	4	4	4	2	8	8	8
Total	40	50	60	58	74	78	73

Table 16. Multicriteria analysis results

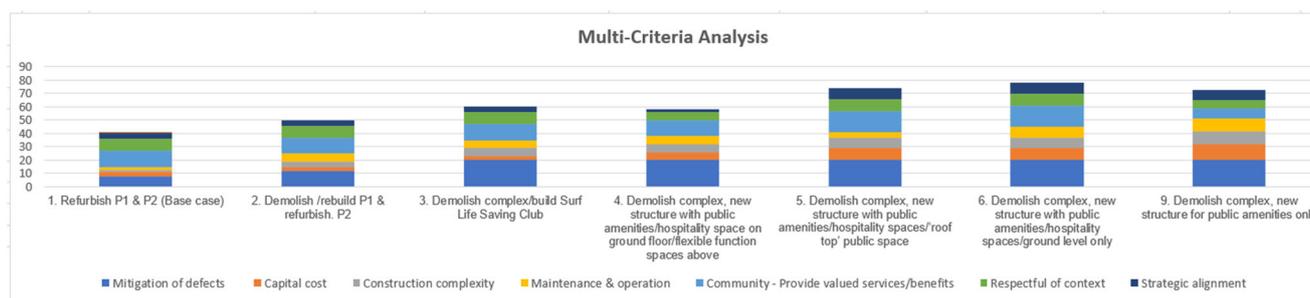


Figure 22. Results of the multicriteria analysis - Bar graph

13.5.2 Recommended: Option 5 or 6

Recommended for options shortlist

Description: Option 6 includes the demolition of the existing complex and building a new structure with public amenities and hospitality spaces on the ground level only. Option 5 is the same concept with the addition of a second level rooftop public space.

MCA Result: Option 5 and 6 scored similarly in the multicriteria analysis and both were strong across all assessment criteria.

Discussion:

Option 5 and 6 are consistent with the Open space and Recreation zoning of Suttons Beach while still enabling the provision of relatively low level or modest food and beverage service as per outcomes of the community engagement. As a new build, high standards of accessibility can be incorporated into the design.

Whilst Option 5 and 6 have a larger footprint than the 1937 bathing pavilion, it is considered these options, with appropriate design, align with the heritage assessment recommendation that any new development should not impact the character of the foreshore and should respect the original size and bulk of the former bathing pavilion. In addition, the concept of Option 5 and 6 will need to include careful integration of the Marine Parade stairs into design to enhance the identified high cultural heritage value of this 1937 structure.

In the detailed planning stage, Council should consider engaging an appropriate retail economist and hospitality consultant to validate the concepts, inform design, and provide confidence that the proposed hospitality spaces will be fit for purpose and sustainable.

Option 6 replicates 5 on the ground level and as one level has a lower construction cost and would have lower maintenance requirements. A lift will be required to meet accessibility codes for access to the second level in Option 5. The Indicative Probable Order of Cost for Option 6 includes provision for foundations and configuration to allow the second level to be added at a future date, if required, to convert to the Option 5 specification.

The Option 5 rooftop public area concept has raised concerns with Council officers and their experience with other facilities in the region. The concerns raised regarding the rooftop public area can broadly be described as additional operating costs to maintain and secure the facility overnight. Similar spaces have attracted high rates of vandalism and anti-social behaviour and the rooftop public area of Option 5 is considered to limit Council's ability to incorporate Crime Prevention through Environmental Design (CPTED).

There is also the possibility of including an All Abilities Playground at the current site of P2 in future projects. A new facility with universal access, coupled with Council's Disability Beach Matting would potentially make Suttons Beach a flagship in terms of disability access and support its Accessibility Precinct designation and Council outcomes.

13.5.3 Option 1 (Base case)

Not Recommended for options shortlist

Description: Option 1 includes the refurbishment of P1 and P2 in same style and architectural design, and same functionality as current complex.

MCA Result: Option1 (Base case) received the lowest score in the multicriteria analysis reflecting cost, ongoing maintenance and operating risks associated with aging structures and similar issues as described for Option 2.

This option recognises that the current facility has provided a range of services to the community since c.2000 and involves a full refurbishment of the existing complex that would, in theory, resolve all known defects. The Covey Report 2022 has since confirmed there are significant technical challenges associated with resolving the known defects. In addition, the current evolved configuration of P1 and P2 would likely present more challenges in terms of providing universal access than the new build options.

The Indicative Probable Whole of Life Costs for Option 1 are higher than the other options.

This option is not recommended for the shortlist.

13.5.4 Option 2

Not recommended for options shortlist

Description: Demolish and rebuild P1 in same style and refurbish P2 with same functionality as current complex

MCA Result: Option 2 scored second lowest in the multicriteria analysis scoring poorly for capital cost, construction complexity and maintenance and operation.

Discussion:

This option involves demolishing the deteriorating and defective P1 and replacing it with a structure of similar size and functionality but with a void between the building and embankment to remove the water ingress issue of the original building. The c.2002 constructed P2 would be refurbished. Option 2 proposed providing a similar level of service and functionality to the existing SBP.

In replicating the current structures, functionality and aesthetic, Option 2 does not respect the heritage values of the 1937 pavilion and perpetuates the scale form and character of post 2000 modifications and extensions that are described by heritage experts as 'intrusive' and as having '*insufficient cultural heritage significance to warrant retention, except for the associated stairs to Marine Parade*' (see section 5.1). Option 2 is high cost and would likely experience constructability challenges given the complexity of the build and refurbishment works. Refurbishment and operating the P2 function centre does not align with Council outcomes (see section 6.2). In addition, the current evolved configuration of P1 and P2 would likely present more challenges in any rebuild/refurbish in terms of providing universal access than the new build options.

13.5.5 Option 3

Not recommended for short list

Description: Option 3 includes the demolition of the existing complex and building a new Surf Life Saving Club including hospitality spaces and functions rooms.

MCA Result: Option 3 Scored in the middle in the multicriteria analysis. Higher scores in mitigation of defects and valued services and benefits criteria were impacted by lower scores in strategic alignment and capital cost

Discussion:

This option is a new build and includes the functions of Option 4 with an additional facility to allow collocation of a surf life saving club. As the largest and most complex new build option, Option 3 receives low scores for cost, constructability and alignment with Council outcomes, due to the location's constraints for a community hall component.

In May 2022, Council signed a Statement of Intent with the Redcliffe Peninsula Surf Lifesaving Club (RPSLC) to explore the potential for the Club to occupy and manage a refurbished/new Suttons Beach Pavilion and provide surf club facilities including casual public dining from the facility. Discussions with RPSLC to discuss the option of relocating and the club's priorities have established structured processes within SLS requirements for any such relocation. Further to the above

constraints with the design as well as complex organisational requirements and an undefined need and priority for such a move, it is considered that a colocation option is not feasible or warranted at this point.

13.5.6 Option 4

Not recommended for options shortlist

Description: Option 4 includes the demolition of the existing complex, building a new structure with public amenities, hospitality space on ground floor and flexible function spaces with commercial kitchen above

MCA Result: Option 4 scored lower than the other new build options in the multicriteria analysis.

Discussion:

In comparison to Option 3, Option 4 is lower cost and as a multifunctional building with flexible function spaces, does not align well with Council outcomes due to the location's constraints. Council have identified the need for a district community hall in the Redcliffe area, however the SBP site was not recommended for this facility. The limited carparking and public transport at the site were important considerations. In addition, the footprint of this option is approximately 30% larger than Option 5 and 6 which does not align with the recommendation from the heritage assessment undertaken by Converge in 2018 relating to respecting the original size and bulk of the 1937 bathing pavilion.

13.5.7 Option 9

Not recommended for options shortlist

Description: Option 9 includes the demolition of the existing complex, building public amenities with accessible toilets/change rooms, a Changing Places facility and activation of sites for coffee/food trucks.

MCA Result: Option 9 scored highly in the multicriteria analysis. Higher scores in mitigation of defects, capital cost and construction complexity and strategic were impacted by lower scores in valued services and benefits.

Discussion:

Option 9 is lowest cost of all options and maximises open space in the park. Option 9 provides the lesser community benefit because it does not deliver permanent places to purchase food and drinks. Community engagement highlights food and drink outlets are valued services for visitors to Suttons Beach. This option does maximise the parkland space allowing the provision of grass and shade for picnics which ranked equally highly with food and drink for visitors and provides opportunities for other recreational assets.

14 Risks

14.1 Overall approach to risk

This SAOA recognises the risks associated with the development options at the SBP site. The risk management approach is aligned with the MBRC Enterprise Risk Management Policy Directive 2160-004 and utilises the MBRC Project Risk Assessment template to:

- identify possible risks
- evaluate all risks in accordance with the risk matrix
- provide adequate control methods for each risk
- ensure all departments involved are aware of the identified risks and have input into the assessment.

A substantial risk assessment has been conducted, following two risk workshops with key internal stakeholders, and the summary of the key risks are presented in the next section.

14.2 Key Risks

Key risks identified with a high initial risk rating include:

1. Project costs could eventually be more to deliver than any approved budget
2. Council currently has no provision in the forward budget to fully fund refurbishment or replacement of SBP
3. The recommended option does not meet all community expectations
4. It may not be commercially viable to operate a hospitality venue at the site
5. The time required to complete refurbishment, demolition, or construction at the SBP complex may create a lengthy period of loss of amenity and community dissatisfaction.

Control measures are proposed for all risks and will need to be revised on a regular basis by the project team.

15 Commercial considerations

No investigation was undertaken into the commercial viability of any of the concepts in the short list and no information could be obtained in relation to the performance of the 4 lessees operating substantial food service and function centre enterprises at the site since c. 2000. However, the points detailed below suggest that the recommended options, with appropriate design informed by food service specialists, could operate viably at the site:

- Options 5 and 6 propose substantially smaller, modern and more efficient food service enterprises than the recently closed SBP. Assessment of the commercial feasibility of a food service should be considered in order to deliver a sustainable service.
- As a minimum, a café has operated at the SBP site since 1937, except for the period of Redcliffe Museum tenure between 1975 and 1999.
- Suttons Beach is a popular destination for the Redcliffe Peninsula community, Moreton Bay region visitors and intraregional visitors and visitation numbers can be expected to grow in line with SEQ growth trends.
- Community engagement highlighted community expectation that food and drinks can be obtained at Suttons Beach Park suggesting a new, appropriately designed and operated food service enterprise would be supported. This could include multiple or flexible hospitality spaces.
- There is some distance from the site to other venues providing food and drinks.

Further investigation into the viability of Options 5 and 6 is recommended to validate the concepts, inform design and provide confidence that the proposed structures will be fit for purpose and feasible.

16 Legal and regulatory considerations

16.1 Planning Considerations

Pre-lodgement advice was provided by Development Services regarding options for the SBP site. Key issues and supporting information related to future works at SBP are as follows:

16.2 Cultural heritage values

SBP is listed on the MBRC local heritage register (ID#88). As detailed in section 5.1, specialist heritage advice calls into question the remaining cultural heritage values of SBP noting that the structure is no longer a representative example of a 1930s bathing pavilion. The Converge report "Former Suttons Beach Bathing Pavilion Heritage Assessment", 2018 in anticipating a new development states:

*If the existing building is demolished in the future, any new development on the site should ensure the character of the foreshore is not impacted. It's not necessary, or recommended, to build a replica pavilion. However, details such as current setback and the original size and bulk of the former bathing pavilion should be respected and considered for new developments.*¹⁷

The Planning Scheme addresses cultural heritage values (PO81) and demolition and removal of Local Heritage Places in Recreation and Open Space Zone Code Performance Outcome PO82. Amongst four options provided for demolition is the following:

- a) A report prepared by a suitably qualified conservation architect or conservation engineer demonstrates that the building is **structurally unsound and is not reasonably capable of economic repair.**

Advice provided by Development Services in 2020 details that PO82(a) requires additional supporting information demonstrating that the building is structurally unsound AND is not reasonably capable of repair. The findings presented in the Covey Report 2022 address the building condition and structural integrity of the SBP complex.

16.3 MBRC Planning Scheme Details

The following is a summary of Planning Scheme Zone and Overlay matters relevant to the site:

- Urban Neighbourhood Precinct Place Type
- Recreation and Open Space Zone
- Acid Sulfate Soils
- Active Transport Route
- Building height (max 8.5m)
- Coastal hazard (Erosion prone area)*
- Storm tide Inundation (Balance coastal planning area)*
- Flood hazard (Balance flood planning area)
- Heritage and landscape character (no.88 - Former Sutton's Beach Bathing Pavilion)
- Infrastructure Buffers (Aviation Facility area of interest);
- Landslide hazard area
- Riparian and wetland setbacks
- Road hierarchy (Sutton Street - Council District Collector)
- Scenic Amenity (Locally Important)
- Walking distance (Centre)

¹⁷ Converge Heritage + Community (2018), Former Sutton's Beach Bathing Pavilion Heritage Assessment p.24.

State Planning Policy (SPP)

- Coastal Management District
- Erosion Prone Area
- Storm tide (medium risk storm tide mapping appears to align with the coastal boundary)

16.3.1 Planning comment

The following pre-lodgement advice was received from Planning Services regarding the SBP project.

a) Any redevelopment of SBP would be subject to the following assessment benchmarks of the MBRC Planning Scheme:

- Recreation and Open Space Zone Code
- Coastal Hazard Overlay Code
- Flood Hazard Overlay Code



Figure 23. Area of interest

b) The 'area of interest', Figure 23, is included within the balance flood planning area (Flood Hazard Overlay) and within the balance coastal planning area and within the erosion prone area (Coastal Hazard Overlay). The following considerations are noted:

- New buildings must be designed to ensure finished floor levels are above the Flood Planning Level (FPL) being 3.5m AHD (FPL = DFE + 500mm freeboard).
- Example E23.2 (Table 8.2.1.4) suggests that for land in the erosion prone area - no filling is permitted'.
- Any development within the erosion prone area is to be supported by a 'site based coastal engineering report' and a structural engineering design which ensures the building works is capable of withstanding natural coastal processes.
- PO29 requires that Development involving community infrastructure is not located in the Erosion Prone Area (SAOA options don't classify as community infrastructure).
- Vulnerable land (Flood and Coastal Hazard) uses are inconsistent within the Erosion prone Area (SAOA options don't relate to any of the uses below).

For the Flood hazard overlay and the Coastal hazard overlay, includes Caretaker's accommodation⁽¹⁰⁾, Child care centre⁽¹³⁾, Community care centre⁽¹⁵⁾, Community residence⁽¹⁶⁾, Community use⁽¹⁷⁾, Detention facility⁽²⁰⁾, Educational establishment⁽²⁴⁾, Emergency services⁽²⁵⁾, Health care service⁽³³⁾, Hospital⁽³⁶⁾, Non-resident workforce accommodation⁽⁵²⁾, Relocatable home park⁽⁶²⁾, Residential care facility⁽⁶⁵⁾, Retirement facility⁽⁶⁷⁾ and Rural workers' accommodation^{(71), (100)}

- The Overall Outcomes of the Flood hazard overlay code require [in part]:

- a. Development in the Erosion Prone Area manages and mitigates the tolerable risk of the coastal hazard by ensuring that:
- i. a material change of use is only for a use which:
 - A. avoids the coastal erosion risk; or
 - B. manages the coastal erosion risk through a strategy of planned retreat; or
 - C. mitigates the coastal erosion risk if there are no adverse local drainage impacts, flooding and coastal impacts on other premises, public land, watercourses, roads or infrastructure or impacts on natural riverine and coastal processes or flood warning times;
- c) Considerations of assessment benchmarks from the Recreation and Open Space Zone are as follows:
- Building and structure are suggested to be setback from all boundaries by 10m
 - Building height is suggested to not exceed 8.5m
 - Buildings on slopes between 10%-15% are to incorporate split levels slabs, pier or pole construction
 - Car parking is to be provided in accordance with Schedule 7 - car parking (based on specific uses)
 - For a Food and Drink Outlet - GFA should not exceed 150m² and does not have a liquor or gambling licence.
 - For a Market - it should not operate for more than 2 days per week or contain more than 50 stalls.

16.4 Summary

Options 5 and 6 will likely fall under Food and Drink Outlet use. A definition of this use according to the Planning Scheme is as follows:

1. Food and drink outlet means the use of premises for:

- (a) preparing and selling food and drink for consumption on or off the premises; or
- (b) providing liquor for consumption on or off the premises, if the use is ancillary to the use in paragraph (a).

Examples of a food and beverage outlet: cafe, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, takeaway shop, or tearoom.

The consistent uses of Food and Drink Outlet do not appear to fall under the definition for 'Vulnerable land' or 'Community infrastructure'. However, advice indicates that any redevelopment at the SBP site will be a Material Change of Use within the mapped 'Erosion Prone Area' within the Coastal Hazard Overlay and, would be Assessable Development - Code Assessable in all instances (other than where the use is Impact Assessable in the zone code, it would remain Impact Assessable). The Level of Assessment of land uses are listed within Table 5.5.9 and Table 5.10.1 of the planning scheme.

Development Services also advised that a future Development application would likely require a referral to the State Assessment and Referral Agency (SARA) because of the site being within the mapped Coastal Management District and Erosion prone Area. Currently, the erosions prone area is mapped by Council as 40m from the Highest Astronomical Tide which would impact any new development at SBP site. This contrasts with the Erosion Prone Area Plans for each Local Government area produced by the Department of Environment and Science in which the Erosion Prone Area advice for Moreton Bay Regional Council includes a definition:

"On land adjacent to tidal water the landward boundary of the erosion prone area shall be defined by whichever of the following methods gives the greater erosion prone area width:

- a. a line measured 40 metres landward of the plan position of the present day HAT level except where approved revetments exist in which case "the line is measured 10 metres landward of the upper seaward edge of the revetment, irrespective of the presence of outcropping bedrock;"

[Moreton Bay Region Local Government Area \(www.qld.gov.au\)](http://www.qld.gov.au)

Council's Coastal Planning and Policy unit recommend seeking advice from the State Government to confirm that the erosions prone area should be 10m from the crest of the seawall, rather than 40m from the Highest Astronomical Tide which it is mapped as now. This advice should then be used to seek an exemption certificate from Council Development Services to remove the requirement of the Development Application needing to address Coastal Hazard Overlay Code PO12a (A vulnerable land use is not located in the Erosion Prone Area, High risk storm tide inundation area or the Medium risk storm tide inundation area).

16.5 Native title and cultural heritage considerations

Advice sought from Council regarding Native Title is as follows:

- Native Title considerations - have been extinguished at the SBP site and no further consideration of Native Title impacts is required.
- Aboriginal Cultural Heritage (ACH) — there are currently no registered Aboriginal cultural heritage places in this area; however the lack of registered places reflects that the area has been developed since 1935, which is well before any such register of sites existed. Should any excavation works be required for the project, Council would need to consider whether there are any triggers requiring the Kabi Kabi Cultural Heritage Party to undertake an assessment of the site. While probably low risk (given the extent of historical surface disturbance), Council should still consider the potential for ACH at this location and ensure that its duty of care obligations are met under the Aboriginal Cultural Heritage Act 2003. Council's cultural heritage planning officers will be able to advise further on this matter.

16.6 Other Considerations

Important infrastructure projects are required to align with local and state government policies and priorities, particularly if government support is needed. The document considers relevant legislation, Council policies and plans, and State government strategies including:

- *Local Government Act 2009*
- Moreton Bay Regional Council Corporate Plan 2022–2027
- Moreton Bay Regional Council Moreton Bay Region – Regional Economic Development Strategy (REDS) 2020 – 41
- Moreton Bay Regional Council Planning Scheme
- State Infrastructure Strategy, 2022
- State Development Infrastructure, Local Government and Planning — Business Case Development Framework.

16.6.1 State Infrastructure Strategy

- Alignment with the four key objectives of the “State Infrastructure Strategy 2022” may assist in advocating for State funding for SBP:
 - *Objective 1 - Encourage jobs, growth and prosperity:* Suttons Beach is a family friendly beach in close proximity to the state capital. It offers a safe environment as it is a life saver patrolled beach, and its small waves provide a fun splash area for young children and other alike. The activation of Suttons Beach Pavilion with a range of amenities, provides a diversity of offering, which supports tourism attraction and any added facilities support increased dwell time in the area, which can encourage/support local spend. The site can also provide many photo-worthy

opportunities that can be shared across social media, and with the right 'tagging' can help increase the profile of the area for visitors, providing further economic benefit.

- *Objective 2 Develop regions, places and precincts:* Suttons Beach is an accessible precinct and iconic place that requires rejuvenation following the deterioration and closure of the Suttons Beach Pavilion.
- *Objective 3 Enhance sustainability and resilience:* SBP is closed due to the seriously deteriorating condition of the buildings, concerns with the structural integrity of key building components, increased concerns about public safety for staff and the wider public, and the need to undertake comprehensive testing to conclusively determine the structural condition of the buildings. This project will consider the sustainability and resilience of any future structure in a marine environment as key considerations in design.
- *Objective 4 Adopt smarter approaches:* This document provides a strategic assessment and options analysis to generate a list of recommended options. The process used is robust, transparent, and defensible and will allow informed decisions to be made regarding future uses of the site. Council is not proposing a business-as-usual approach but is assessing all options to find a smart solution that provides direct community benefit in a fiscally accountable and sustainable way.

17 Stakeholder and community engagement requirements

Stakeholder engagement undertaken prior to the SAOA has provided detailed information on the diversity of views and expectations in relation to SBP (Section 6).

Council has indicated it plans to continue the stakeholder engagement.

The development of this stakeholder engagement process should consider:

- **Analysis of opportunities:** the list of all possible opportunities and the analysis which resulted in their exclusion or inclusion in the final list following this analysis.
- **Quantitative and qualitative impacts:** both the quantitative and qualitative impacts on Council and the community are complex and have been analysed extensively within this report providing an opportunity to clearly provide this context and information publicly.
- **Explanation of the site:** a clear and consistent explanation of the complexity of the site, its constraints, and opportunities.
- **Further consultation on concept plans:** the final short list has been defined to clearly address service need and to align to Council outcomes. As such consultation should only be considered on the short list (option 5 and 6) as they have been identified as meeting the problem statement, service need, and further analysis undertaken in the MCA.
- **Areas not investigated in this report:** whilst this report focuses on the Suttons Beach Complex it is noted the area surrounding the complex is integral to community events and connectivity. Council may consider the broader context of the complex in future stakeholder engagement

In summary, future stakeholder engagement provides the opportunity to ensure complete understanding of the analysis of opportunities, impacts on the Council and community, explanation of the site and its constraints and opportunities, and input on some final concepts. This will help ensure that the process is transparent, inclusive, and that all relevant parties have the opportunity to contribute to the decision-making process.

18 Sustainability assessment

18.1 Approach

All infrastructure projects sit within a broader context and should be planned, designed and operated to connect with the wider system, including other infrastructure, economic activity, landscapes, population hubs and movements, flows of resources, materials, goods and people.

As outlined in MBRC Policy: 2150-044, Council has recognised the need to formally adopt an effective and realistic response to sustainability as outlined in corporate and strategic documents. Council has identified the following five areas where sustainability needs to be promoted, interpreted and implemented within Council and the greater region. It is recommended that the project consider and align with each of the key focus areas:

- Sustainable Consumption and Production – improve energy and water efficiency and minimise waste.
- Biodiversity Protection and Environmental Enhancement – protecting and enhancing waterways and natural areas.
- Sustainable Communities – improve social and community wellbeing through access to services, housing, cultural activities and employment.
- Planning for Sustainability – integrating a balance between the community, land use, infrastructure services, transport and the natural environment.
- Sustainability in Organisational Management – integration of sustainability into finance/budgeting, monitoring and reporting, asset construction and renewal, human resources, succession planning, healthy workforce and economic development.

18.2 Key points

Activities completed as part of the SAOA and relating to sustainability are as follows:

- community and stakeholder views, including marginalised and affected groups have been considered to improve social licence to operate any proposed new infrastructure.
- the service need is addressed and aligned with Council policies and objectives.
- recommended options and draft concepts have considered environmental and resilience factors relating to the site and marine environment
- the SAOA has considered the State Infrastructure Strategy 2022 which has the key objectives of:
 - enhance sustainability and resilience
 - adopt smarter approaches
- procurement for the project will follow Council procurement policy which promotes environmental and socially responsible procurement practices, value for money and minimising operational costs

19 Recommendations

Recommendations based on SAOA findings are as follows:

Recommendation 1: Do not further develop the Base Case - Option 1 to refurbish the existing SBP complex.

Recommendation 2: Further develop Option 5 and 6 and develop a detailed business case to inform an investment decision by Council.

The items for completion during the development of the detailed business case include:

- planning assessment for recommended option
- commercial viability assessment for hospitality options
- seek funding for the project from sources external to Council
- develop design concepts for the recommended options for consultation
- community consultation on the options
- select a recommended option for detailed design
- develop and implement a plan to provide public amenities whilst the permanent solution is developed and delivered
- develop a procurement strategy and appropriate delivery methodology
- assess the risks and opportunities and develop and implement mitigations and controls.

Recommendation 3: When assessing the surrounding parkland and site use Council should consider a complimentary All Abilities Playground at Suttons Beach Park to support the area's designation as an Accessibility Precinct, and Council priorities.

Recommendation 4: The concept designs consider accessible access and respect both the cultural heritage of the 1937 bathing pavilion and that of Suttons Beach Park to maintain/enhance important community connections. Considerations include:

- building connectivity with the park
- integration with Marine Parade stairs
- cultural history of Suttons Beach Park
- activity and celebration spaces
- landscaping and ancillary buildings
- view corridors.

Recommendation 5: Concept designs consider demolition of the existing rotunda and replacing it with a more fitting structure in a better location. It is acknowledged the community values the attributes of the rotunda but the following reasons support demolition of the existing rotunda:

- it has no heritage values
- the marine environment has caused substantial deterioration of the structure since its construction in 1998
- retaining the rotunda in the current location would significantly impact sight lines, new build aesthetics, landscaping options and benefits that the space it occupies can potentially provide
- the marine environment has caused deterioration of the structure since its construction in 1998
- the structure isn't representative of architectural form of its timing or sympathetic to its surrounds.

Recommendation 6: The stairs to Marine Parade are retained in any future development. The heritage value has been assessed by heritage specialists as Exceptional.

Appendix 1: 1937 Suttons Beach Bathing Pavilion plans

REDCLIFFE

TOWN

COUNCIL

PROPOSED

BEACH PAVILION

AT

SUTTONS BEACH

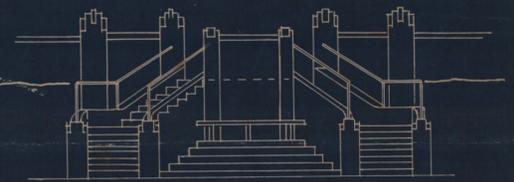
SCALE 8 FEET TO 1 INCH

MAIN ROAD

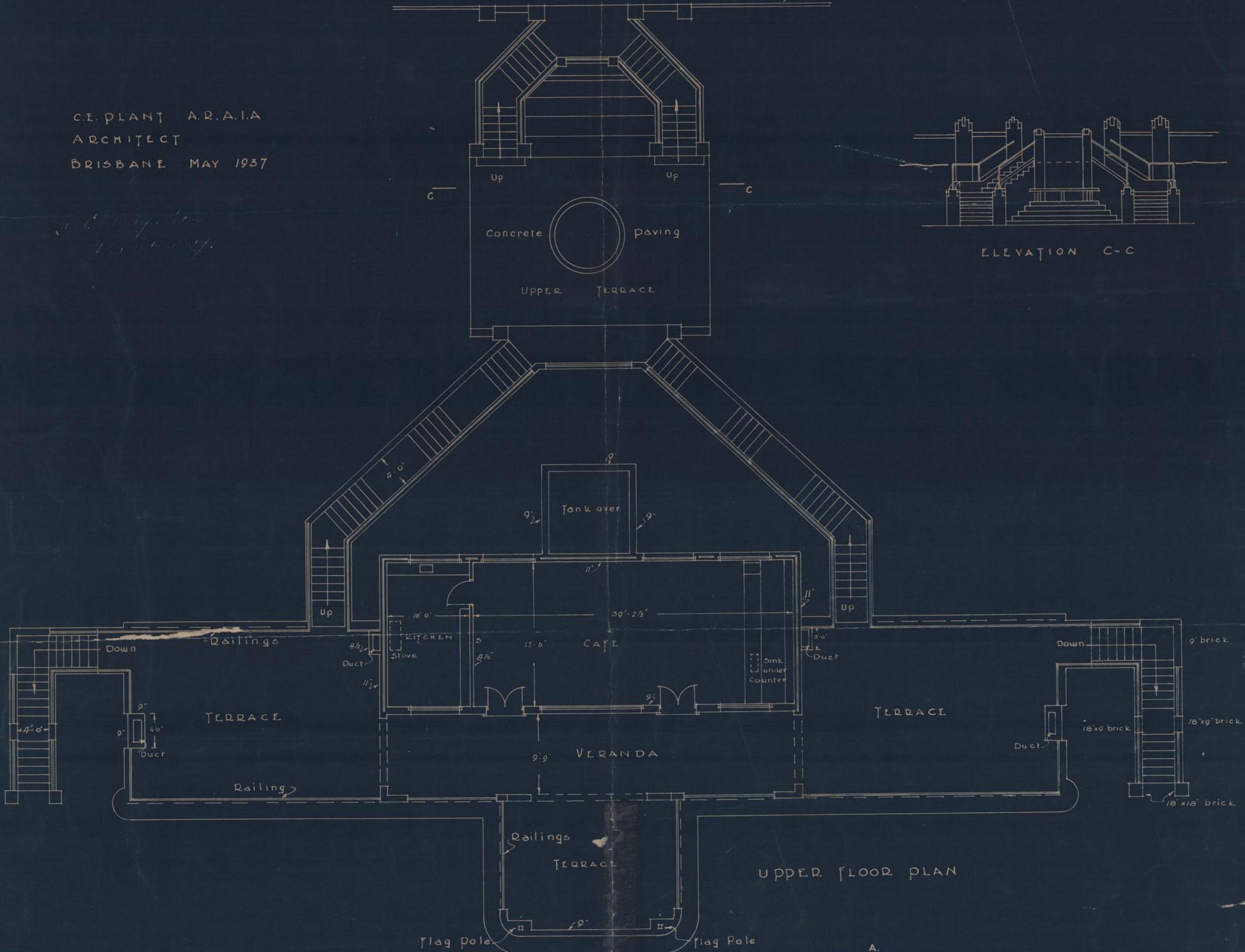
Existing fence

C.E. PLANT A.R.A.I.A
ARCHITECT
BRISBANE MAY 1937

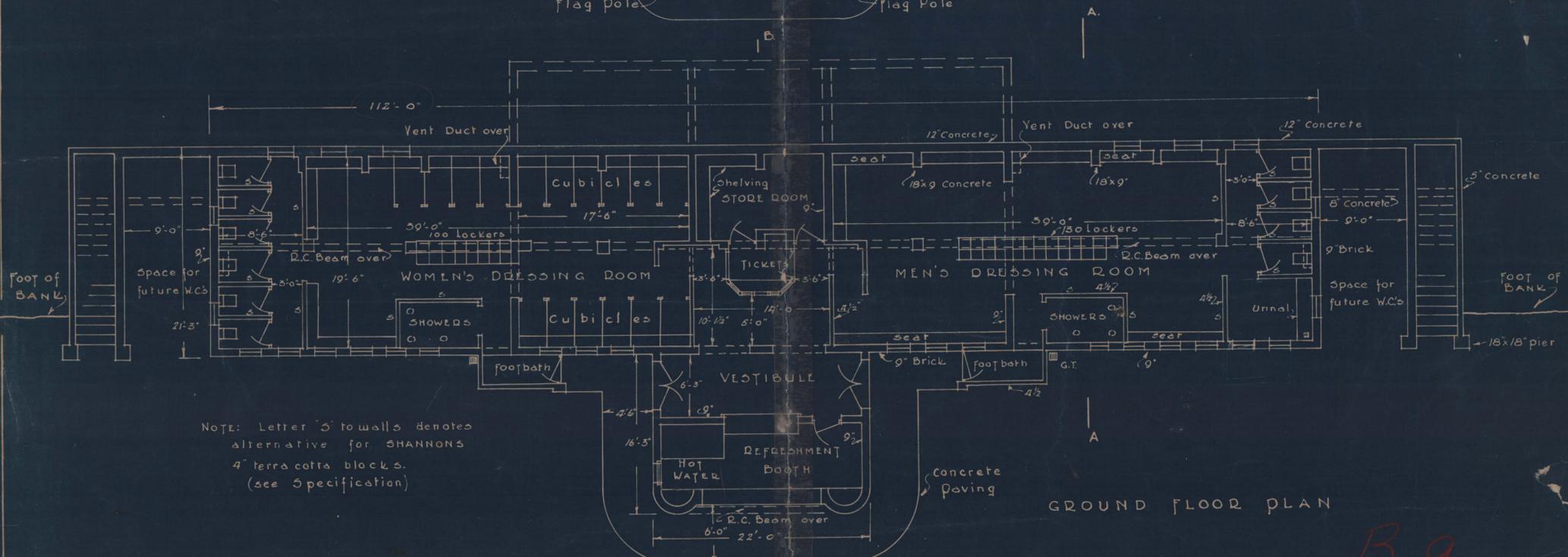
*See Specification
1/10/37*



ELEVATION C-C



UPPER FLOOR PLAN



GROUND FLOOR PLAN

NOTE: Letter 'S' to walls denotes
alternative for SHANNONS
4" terra cotta blocks.
(see Specification)

B 9

Appendix 2: Known changes to 1937 Suttons Beach Bathing Pavilion

Appendix 2: Known Changes to the 1937 Suttons Beach Bathing Pavilion¹

2.5 Analysis of Known Changes

The following analysis of the bathing pavilion and the [stairs](#) from Marine Parade is based on an examination of plans, historical photographs and the historical context above. Refer to Section 3 for a current description of the place and an overview of its condition and integrity.

2.5.1 The Former Sutton's Beach Bathing Pavilion

Table 2: Analysis of known changes to the pavilion.

Date	Description of Changes	Image
1937	<p data-bbox="353 576 577 608">Original construction</p> <ul data-bbox="353 624 1603 1294" style="list-style-type: none"> <li data-bbox="353 624 1339 655">• The pavilion originally featured a kiosk, dressing rooms, lockers, lavatories, and showers. <li data-bbox="353 671 1585 703">• The building was symmetrical and relatively austere in form with some modernist and art deco design elements. <li data-bbox="353 719 1603 847">• The building was constructed of brick and rendered concrete and comprised of two <u>storeys</u> with flanking wings (lower <u>storey</u> only) on either side of the main structure, which held the dressing rooms/showers, with terraces above. There were additional sections of walls used as privacy screens in front of the entrances at the dressing rooms. The dressing rooms featured rows of louvre windows at the top of the wall. <li data-bbox="353 863 1603 927">• The kiosk section was largely exposed brick, except for the section of wall under the counter, which was rendered. At the side of each wing was a set of concrete stairs that led to the second <u>storey</u>. <li data-bbox="353 943 1603 1038">• The second <u>storey</u> originally featured a verandah and terraces along the entire length of the structure and atop the kiosk. The verandah/terraces featured a simple metal, three rail balustrade. The verandah/terrace flooring was tiles. <li data-bbox="353 1054 1603 1150">• The letters 'RTC' were attached to the parapet above the kiosk. At the top of either end of the flanking wings were concrete ventilation 'chimney' and associated awning. There were two flagpoles on the terrace above the kiosk. <li data-bbox="353 1166 920 1198">• The original building had a hipped and tiled roof. <li data-bbox="353 1214 1603 1294">• The stairs from marine Parade were built as part of the original design of the pavilion in 1937 – see also Section 2.5.2. 	 <p data-bbox="1626 863 1973 927">Figure 26: The pavilion in c.1937 (MBRC, image# 000\000417).</p>  <p data-bbox="1626 1246 2029 1310">Figure 27: The pavilion in 1937 (MBRC, file#100\100164).</p>

¹ Converge Heritage + Community (2018), Former Suttons Beach Bathing Pavilion Conservation Management Plan, p. 16-18.

Date	Description of Changes	Image
1953	<ul style="list-style-type: none"> • Little visible changes by 1953. • See also Figure 31 below which shows an aerial image of the pavilion in 1956. 	 <p data-bbox="1608 430 2004 526">Figure 28: The pavilion in 1953 (State Library of Queensland, negative# 160502).</p>
1975 – 1999	<ul style="list-style-type: none"> • Demolition of the kiosk counter and wall and conversion of the opening to a large doorway fitted with a roller door, painting of surrounding masonry, the former gated breezeway was enclosed and removal of louvres at change rooms and replacement with bricks and breeze blocks. • The verandah at the second storey storey was enclosed with windows, but the terraces remained open. • The roof sheeting was replaced (unclear when original tiles were removed). • The ventilation chimneys at the wings were partially demolished to the height of the balustrade and the flagpoles were removed from upper terrace. • A roadway/carpark was constructed directly in front of the building, then later changed when the gazebo was added in the late 1990s. • Enclosure of the former dressing room entrances and demolition of the individual entrances and internal partition walls at the former entrances. • See also Figure 32 for an aerial image of the pavilion in 1989, Figure 33 for an image from 1993 and Figure 34 for an image from 1999. 	 <p data-bbox="1608 702 2004 758">Figure 29: The pavilion when it was in use as a museum (MBRC).</p>

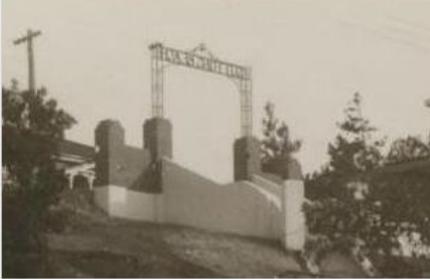
Date	Description of Changes	Image
Early 2000s	<ul style="list-style-type: none"> • The second storey of the building was enlarged with new building work that covered the length of the wings and the area above the former kiosk, completely enclosing the terraces. • The original hipped roof was replaced with a flat roof. An art deco style façade with parapet was added to the second storey of the building. • The RTC lettering was removed. • The gardens/grassed areas or pavements were installed in front the building. • New doorways were cut into the concrete walls of the former dressing rooms in the ground floor for the bistro area and a covered outdoor dining area was added as an extension to either side of the kiosk. • Minor changes included repainting and the addition of red awnings to the windows and covers over the stairs. • The adjacent function centre was built. • See also Figure 35 which shows an aerial image of the pavilion and adjacent function centre in 2004. 	
c.2006	<ul style="list-style-type: none"> • Large detached outdoor areas have been built in front of the building. • The former outdoor dining areas (from 2002) were enlarged and built in. These have been built in art deco style. • The balustrade of the southern stairs closest to the building was removed to facilitate the extension. • The northern end of the pavilion was connected to the function centre via a new construction in between the two buildings, heavily impacting on the original, symmetrical design of the building, and included the removal of the northern stairs. • A new verandah was built at the second storey – above the extended areas on either side of the kiosk. • New outdoor dining areas were constructed in front of the building. • See Figure 36 which shows an aerial image of the pavilion and adjacent function centre in 2011. 	

Figure 30: The pavilion in c.2002 (MBRC, image# 002\002180).

2.5.2 The Stairs from Marine Parade

Based on a review of historic and recent images, it is apparent that the following changes have occurred – but the timing of the changes is unknown.

Table 3: Analysis of the changes to the Stairs from Marine Parade.

Description of changes	Early image	Comparative image in 2020
<p>The brick pillars at the entrance have been rendered and the fence has been extended at the left (north).</p>	 <p>Figure 37: Entrance to the stairs, late 1930s (Fryer Library).</p>	 <p>Figure 38: Entrance to the stairs in 2020.</p>
<p>The original metal sign and <u>archway</u> at Marine Parade has been replaced with a simple square entrance with 'Sutton's Beach' in lettering at the top. The new entrance (replacing the old <u>archway</u>) is fixed to the back of the brick pillars.</p>	<p>See above</p>	<p>See above</p>
<p>Low <u>hand rails</u> have been added to the top of the concrete walls at the stairs from the upper terrace to Marine Parade.</p> <p>Handrails are evident on the original plans at the upper section of the stairs but are not shown in early photos – it is unclear when the handrails were attached to the walls from the upper terrace to Marine Parade.</p>	 <p>Figure 39: View to stairs to Marine Parade in 1938, from the upper terrace (MBRC, file# 101\101001).</p>	 <p>Figure 40: Stairs from marine Parade to the upper terrace, now with rails at the top of the concrete walls.</p>

Description of changes	Early image	Comparative image in 2020
<p>As above, balustrades/handrails are evident on the original plans for the stairs from the upper terrace down to the pavilion but are not clearly seen in early photos for this location – they may have been evident only one side of each set. An undated photograph (see Figure 42 on the right) shows one balustrade at the northern set of stairs. The photograph from 1938 does not appear to show rails.</p> <p>It is unclear when balustrades/handrails were added to these stairs.</p>	<div data-bbox="1137 236 1572 587" data-label="Image"> </div> <div data-bbox="1137 593 1572 657" data-label="Caption"> <p>Figure 41: South stairs at the pavilion in 1938 (MBRC, file# 101\101001).</p> </div> <div data-bbox="1137 673 1572 1002" data-label="Image"> </div> <div data-bbox="1137 1008 1572 1072" data-label="Caption"> <p>Figure 42: The north stairs at the pavilion, n.d. (MBRC, file# 101\101569).</p> </div>	<div data-bbox="1601 236 2016 641" data-label="Image"> </div> <div data-bbox="1601 647 2016 679" data-label="Caption"> <p>Figure 43: The south stairs in 2020.</p> </div> <div data-bbox="1601 695 2016 1152" data-label="Image"> </div> <div data-bbox="1601 1158 2016 1190" data-label="Caption"> <p>Figure 44: The north stairs in 2020.</p> </div>

Description of changes	Early image	Comparative image in 2020
<p>The balustrades at the end of the stairs, where they formerly joined the balustrades at the rear of the pavilion (at upper verandahs) have been altered/replaced to construct a new timber walkway on either side – as the verandah was fully enclosed and the pavilion balustrades were removed.</p>	 <p>Figure 45: Original layout of the balustrade at the end of the stairs to the pavilion (MBRC, file# 101\101569).</p>	 <p>Figure 46: Shorter balustrades from the end of the stairs, formerly leading directly to the upper verandah at the pavilion, now leading to the timber walkway.</p>

Appendix 3: Hierarchy of significant elements at the Suttons Beach Pavilion

Appendix 3: Hierarchy of significant elements at the Former Sutttons Beach Bathing Pavilion.¹

Due to the extensive changes at the former pavilion, the following hierarchy of significance has identified original fabric but does not list new fabric as individual elements. Refer to the diagrams (Figures 116 - 117) below for the locations of the following elements.

Image	Element	Grading	Comments
 <p>Figure 102: Setting.</p>	Setting	Low	The setting of the building has been altered with the addition of the function centre, the gazebo and the outdoor eating areas. Additions and modifications to the building have impacted heavily on the dominance and symmetry of the structure in its original form and setting.
 <p>Figure 103: The pavilion.</p>	The pavilion – general	Low	The building has been extensively modified and no longer demonstrates the 1930s design. Most of the fabric in the building now is modern – predominantly dating from 2002 and 2006 renovations.
Image	Element	Grading	Comments
 <p>Figure 104: Stairs from Marine Parade.</p>	Entrance and stairs, from Marine Parade	Exceptional	The stairs from Marine Parade have undergone minor modifications, including the removal of the original entrance sign – but they are largely original fabric.
 <p>Figure 105: Function centre.</p>	Function Centre	Intrusive	The connection of the Function Centre to the former pavilion has impacted the integrity. Symmetry and dominance of the original building.
 <p>Figure 106: Gazebo. Ground floor</p>	Gazebo	Intrusive	The 'faux heritage' modern gazebo interrupts views to the pavilion from the beach and depicts the wrong era of its construction.

¹ Converge Heritage + Community (2020), Former Sutttons Beach Bathing Pavilion Conservation Management Plan (2020), P. 42-45.

	Stairs, southern	High	<p>The southern stairs have been altered including removal of some of the posts and early balustrades and addition of new balustrades. The pavilion has been extended to abut the stairs changing the original context of the stairs.</p> <p>Note: The northern stairs of the pavilion were demolished.</p>
	Kiosk corners	Low	<p>The corners of the former kiosk remain <i>in-situ</i> but have been modified various times including demolition of the walls either side.</p>
	Western wall	Moderate	<p>The western wall is largely obscured from view with modern kitchen fit outs and fixtures but remains <i>in-situ</i>. Any other walls/sections of walls or posts remaining behind new walls or fixtures would also rate as moderate.</p>
	Outdoor eating areas	Intrusive	<p>The outdoor eating areas obscure the views to the building.</p>
	All other modern fabric	Intrusive	<p>All modern fabric including walls, restaurant extension (formerly the 2002 outdoor eating areas) windows, doors, fit out etc. are intrusive.</p>
Upper level			

	Two verandah columns	High	<p>Aside from the walls noted below, the two remaining verandah columns are all that remains from the original construction at the upper level. They retain the render and terracotta tile detailing.</p> <p>Their original context as verandah columns has been removed with the enclosure of the original verandah. The original hipped roof they supported has been completely removed and replaced with a flat roof.</p>
	Western wall and corners of north and south wall	High	<p>The original sections of the walls are visible from the stairs – they retain original detailing. The adjacent modern walls are built to look the same, but are made from polystyrene blocks, rendered to match the original building. Despite this attempt, the difference between the new and old is obvious.</p>
	Modern verandahs	Intrusive	<p>The existing verandahs are not original and obscure the visual interpretation of the building.</p>
	All other modern fabric	Intrusive	<p>All modern fabric including walls, windows, doors, fit out etc. are intrusive.</p>

NOTE: The following plans denote the place prior to the c.2006 extensive renovations. New additions and extensions have been constructed since these plans were produced. Up to date plans have not been provided for this CMP. For example, the northern pavilion stairs have since been demolished, the pavilion has been widened and extended at both levels, new outdoor dining areas have been constructed and a new verandah has been added at the upper level – some of these are shown as potential items on the plans. Updated plans should be added to the CMP as part of any review and update, alternatively they should be appended to this report when available.

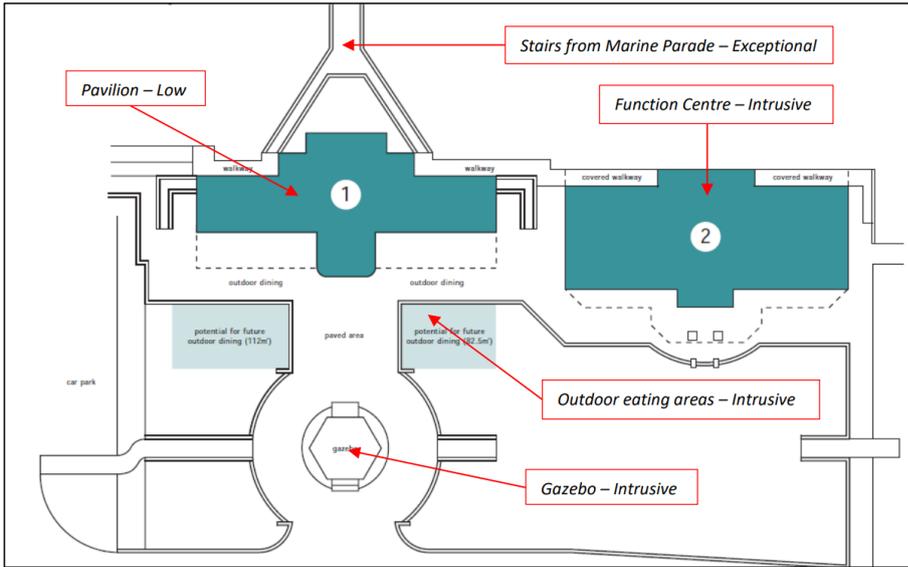


Figure 116: Location significant elements around the setting of the pavilion (MBRC 2006: 8).

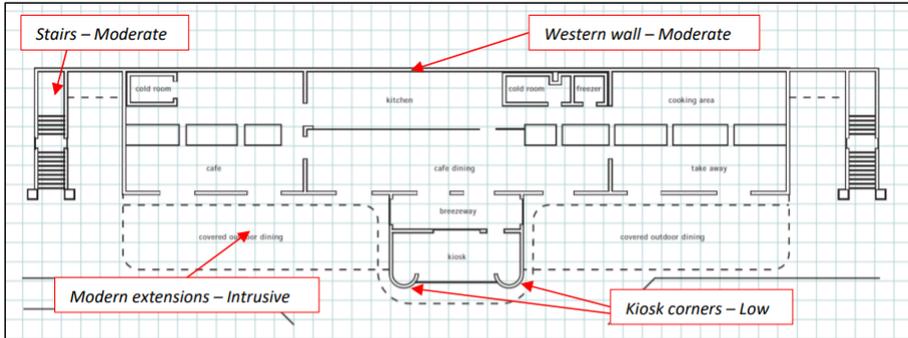


Figure 117: Location of significant elements at the ground floor of the pavilion (MBRC 2006: 9).

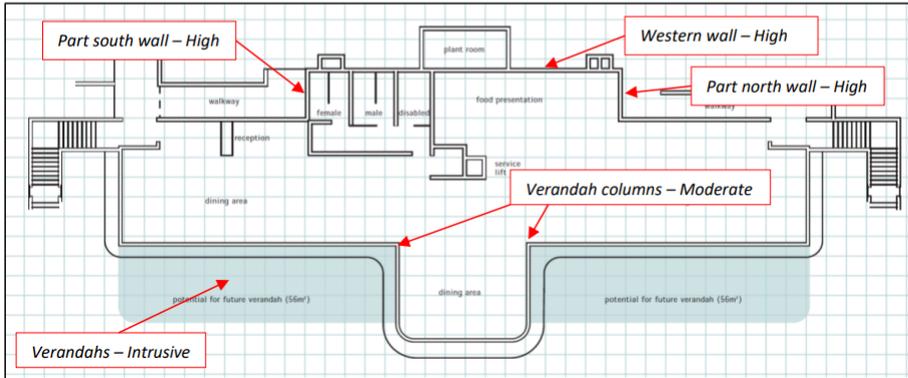


Figure 118: Location of significant elements at the second floor of the pavilion (MBRC 2006: 9).

Appendix 4: Audit summary of Suttons Beach Pavilion defects

Appendix 4: Audit summary of Suttons Beach Pavilion defects¹

Table 1: Peer Review Summary below is a summary of the defect items where BEC has identified either a discrepancy or divergence of opinion.

Table 1: Peer Review Summary

Location	Defect Noted	Implications of remedial works	BEC Comment
G1 – G5: Ground Floor	Defect D1 C5 Spalling concrete to soffit of Level 1 slab, evidence of past repairs, evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>Concrete slab likely at end of design life. Further spalling expected unless remediated. Further non-destructive (half-cell potential) and destructive testing (concrete core and carbonation) will be necessary to map the full extent of corrosion and remaining life of slab prior to major intervention. A potential remediation option may be to strip back deleterious material and application of a new protective membrane.</i>
G7: Ground Floor Grid E-F	Defect D2 C5 Cracking in rear wall infill (or previous repair) section.	Removal of all finishes, framing and fit out to allow access for repair.	<i>BEC sighted. In agreement with defect & proposed repair recommendation. Additional cracking was sighted about the top of the engaged pier at the slab interface (IMG_8534).</i>
G9: Ground Floor Grid E	Defect D4 C6 Spalling concrete	Exclusion zone beneath affected area; remove spalling to mitigate the risk of spalling concrete dropping and resulting in injury; undertake concrete repair works.	<i>BEC considers this element to be part of the foam awning. To be removed and/or replaced. (refer IMG_8555).</i>
G9: Ground Floor Grid D-E	Defect D4 C6 Spalling concrete	Exclusion zone beneath affected area; remove spalling to mitigate the risk of spalling concrete dropping and resulting in injury; undertake concrete repair works.	<i>BEC considers this element to be part of the foam awning. To be removed and/or replaced. (refer IMG_8555).</i>
G10: Ground Floor Grid A-B	Defect D5 Water damage along full extent of western wall resulting in severe dry rot of timber. Evidence of termite damage.	Complete removal of kitchen fit out and all framing members. Resolution of water ingress through western wall is problematic.	<i>BEC sighted. In agreement with defect & proposed repair recommendation. BEC additionally recommends additional termite inspections/ monitoring throughout the building to ensure no further termite damage present.</i>
G11: Ground Floor Grid D-E	Defect D6 Ceiling failure due to weight of services cables.	Removal of existing ceiling sheeting & installation of new system to support required cables.	<i>Ceiling appears to be patched in this area and is not able to be sighted. BEC agrees with the defect based on photos provided in the report. Repairs may have already been conducted.</i>
G12: Ground Floor Grid D-E	Defect D7: Condensation on existing refrigeration lines that is likely resulting in water ingress to structural members and finishes.	Removal of existing ceiling to enable make-good works to refrigeration lines.	<i>Incorrect photo provided by FSACE. Sited refrigerant lines resulting in water ingress. (IMG_8523) in agreement with defect.</i>

¹ BE Collective (2020), Structural Condition Audit Review, Refer Section 3 - Structural Audit Peer Review Summary & Appendix A.

Level 1 rear of 'link structure' – drainage void (from rear boardwalk)	Defect D11 Location of block wall that does not appear to be waterproofed is resulting in water ingress to Ground Level.	Safe access to undertake repairs is not possible due to the narrow access between the original western wall and newer block wall. Repairs would require construction of a second retaining wall to the west.	<i>BEC agrees with the defect identified & notes the added impact of the leaking box gutter over.</i> <i>Corrosion of exposed original wall reinforcement sighted. Original wall is in poor condition and is problematic to remediate.</i>
Level 1 rear of 'link structure' – drainage void (from rear boardwalk)	Defect D11 Location of block wall that does not appear to be waterproofed. Corrosion of exposed reinforcement to the original wall.	Safe access to undertake repairs is not possible due to the narrow access between the original western wall and newer block wall. Repairs would require construction of a second retaining wall to the west.	<i>BEC concurs that the drainage pit surface level is too high to collect water, likely due to erosion and settlement.</i> <i>BEC also concurs with the identified access limitations preventing application of a new waterproofing layer/membrane.</i> <i>BEC considers there is a potential to revisit Option 1 (inject chemical barrier) as a lower cost solution to significantly reduce the water ingress. Whilst Option 2 (internal drainage/water proof barrier) would provide reduced water ingress, it would not protect the block wall from water ingress & further degradation. Option 3 (installation of the new wall) will be problematic and costly due to access constraints.</i> <i>The proposed improvements to the stormwater drainage about the western side of the site will aid in reducing surface stormwater flowing down the hill into the drainage void.</i>

Table 2: Engineering Inspection 12 February 2020 – Pavilion 1 (FSACE Report Section 4.1)

Location	Defect Noted	Implications of remedial works	BEC Comment
G1: Ground Floor Grid F-G	Defect D1 C5 Spalling concrete to soffit of Level 1 slab; evidence of past repairs; evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>Concrete slab likely at the end of design life. Expected further spalling to occur unless major intervention. Further non-destructive (half-cell potential) and destructive testing (concrete core and carbonation) will be necessary to map the extent of corrosion.</i>
G2: Ground Floor Grid D-E	Defect D1 C5 Spalling concrete to soffit of Level 1 slab; evidence of past repairs; evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>BEC sighted & agrees with defect (refer above).</i>

G3: Ground Floor Grid D-E	Defect D1 C5 Spalling concrete to soffit of Level 1 slab; evidence of past repairs; evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>BEC sighted & agrees with defect (refer above).</i>
G4: Ground Floor Grid B-C	Defect D1 C5 Spalling concrete to soffit of Level 1 slab; evidence of past repairs; evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>BEC sighted & agrees with defect (refer above).</i>
G5: Ground Floor Grid B	Defect D1 C5 Spalling concrete to soffit of Level 1 slab; evidence of past repairs; evidence of corroded reinforcement in local patches.	Removal of all finishes, framing and services to enable access to slab for full inspection and repair.	<i>BEC sighted & agrees with defect (refer above).</i>
G6: Ground Floor Grid H	Defect D2 Exposed corroded reinforcement.	Access to area challenging due to new structures.	<i>Corroded bars sighted. BEC agrees that access is problematic. It is likely necessary to remove roof/gutter over to facilitate future inspection.</i>
G7: Ground Floor Grid E-F	Defect D2 C5 Cracking in rear wall infill (or previous repair) section.	Removal of all finishes, framing and fit out to allow access for repair.	<i>BEC sighted & agrees with defect & repair recommendation. Additionally, cracking was identified about the top of the engaged pier and slab (IMG_8534).</i>
G8: Ground Floor Grid B-C	Defect D3 Connection supplementary floor beam to wall appeared unfit for purpose. Minor corrosion (S2) to unprotected steelwork.	Removal of all finishes, framing and services to enable access to connection for design and installation of upgraded connection	<i>BEC sighted. In agreeance with defect & proposed repair recommendation.</i>
G9: Ground Floor Grid E	Defect D4 C6 Spalling concrete	Exclusion zone beneath affected area; remove spalling to mitigate the risk of spalling concrete dropping and resulting in injury; undertake concrete repair works.	<i>BEC considers this element to be part of the foam awning. To be removed and/or replaced. (refer IMG_8555).</i>
G9: Ground Floor Grid D-E	Defect D4 C6 Spalling concrete	Exclusion zone beneath affected area; remove spalling to mitigate the risk of spalling concrete dropping and resulting in injury; undertake concrete repair works.	<i>BEC considers this element to be part of the foam awning. To be removed and/or replaced. (refer IMG_8555).</i>
G10: Ground Floor Grid A-B	Defect D5 Water damage along full extent of western wall resulting in severe dry rot of timber. Evidence of termite damage.	Complete removal of kitchen fit out and all framing members. Resolution of water ingress through western wall is problematic.	<i>BEC sighted. In agreeance with defect & proposed repair recommendation.</i>
G11: Ground Floor Grid D-E	Defect D6 Ceiling failure due to weight of services cables.	Removal of existing ceiling sheeting & installation of new system to support required cables.	<i>Unable to inspect. Ceiling appears to be patched in this area; repairs may have already been conducted.</i>

G12: Ground Floor Grid D-E	Defect D7 Noted condensation on existing refrigeration lines that is likely resulting in water ingress to structural members and finishes.	Removal of existing ceiling to enable make-good works to refrigeration lines.	<i>Note - Incorrect photo provided by FSACE. Sited refrigerant lines resulting in water ingress. (refer IMG_8523)</i>
F1: Level 1 Grid A	Defect D8 C5 cracking in reinforced concrete stair wall in southern access stairs.	Access available for repairs.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F2: Level 1 Grid A	Defect D8 C5 cracking in reinforced concrete stair wall in southern access stairs.	Access available for repairs.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F3: Level 1 Grid H	Defect D9 Failure of external lining water ingress into frame is likely.	Access up to external area of Level 1: strip linings and undertake repair works as required.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F4: Level 1 Grid B	Defect D10 Water damage to full extent (assumed) of upper level wall framing – image adjacent shows repaired framing installation. This is resulting in the bottom plate & lower portion of the studs suffering initial, too severe dry rot of timber.	To undertake repairs to achieve a current best practice outcome, the full removal of all external cladding would be required. Repair works & framing repairs are also required (assumed as minimum to all bottom plate and a majority of studs). Install external wall membrane & windows, and a new external cladding system. Additionally, it is further recommended that internal wall lining repairs are conducted as necessary.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F5: Level 1 Grid D	Defect D10 Water damage to full extent (assumed) of upper level wall framing. This is resulting in the bottom plate & lower portion of the studs suffering initial, too severe dry rot of timber.	As above.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F6: Level 1 Grid D	Defect D10 Water damage to full extent (assumed) of upper level wall framing. This is resulting in the bottom plate & lower portion of the studs suffering initial, too severe dry rot of timber.	As above.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F7: Level 1 Grid E-F	Defect D10 Water damage to full extent (assumed) of upper level wall framing. This is resulting in the bottom plate & lower portion of the studs suffering initial, too severe dry rot of timber.	As above.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>

F8: Level 1 Grid H	Defect D10 Water damage to full extent (assumed) of upper level wall framing. This is resulting in the bottom plate & lower portion of studs suffering initial, too severe dry rot of timber. The studs, bottom plate, and tie down have failed.	As above.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F9: Level 1 Grid E	Defect D10 Water damage resulting in severe dry rot of timber; failed brick/timber interface.	As above.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F10: Level 1 Grid D	Defect D11 Severe corrosion S5 to handrail and bolted connection.	Remove existing fixings, including any corroded fixings prior to replacement. Access to Level 1 area.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
F10: Level 1 Grid D	Defect D11 Severe corrosion S5 to handrail and bolted connection.	Remove existing fixings, including any corroded fixings prior to replacement. Access to Level 1 area.	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
Awning Level 1	Defect D19 Foam awnings (fiberglass lined) are degraded. Delaminating may contribute to water ingress to structural frame.	Removal and/or repair all foam awnings.	<i>All rendered foam awnings appear to be degraded/delaminating. Recommend to remove and replace all.</i>

Table 3: Engineering Inspection 05 February 2020 – Drainage Void area (FSACE Report section 4.2)

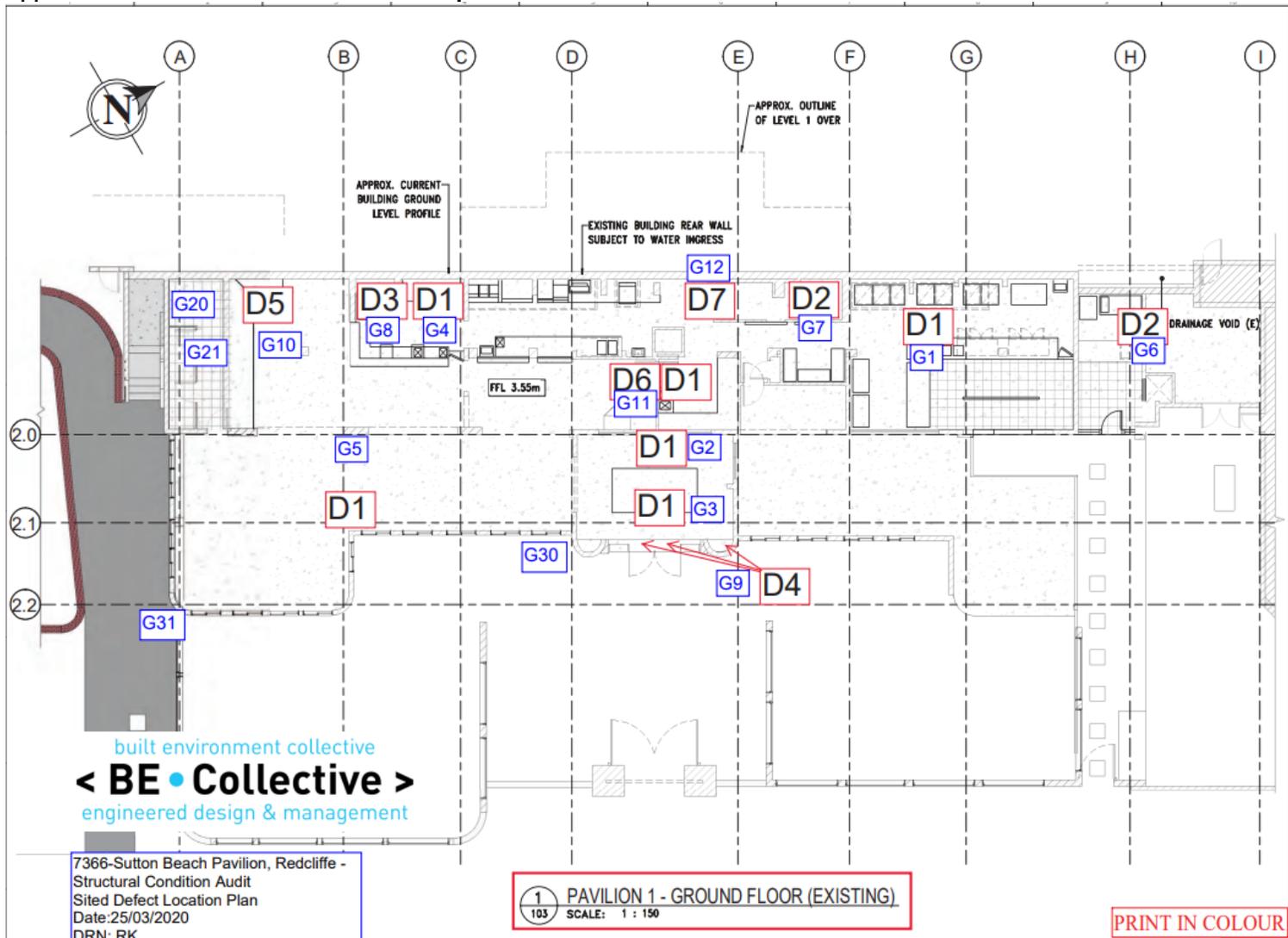
Location	Defect Noted	Implications of remedial works	BEC Comment
Level 1 rear of 'link structure' – drainage void (from rear boardwalk)	Defect D11 Location of block wall that does not appear to be waterproofed resulting in water ingress to Ground Level.	Safe access to undertake repairs is not possible due to the narrow access between the original western wall and newer block wall. Repairs would require construction of a second retaining wall to the west.	<i>BEC agrees with the defect identified & notes the added impact of the leaking box gutter over.</i> <i>Corrosion of exposed original wall reinforcement sighted. Original wall in poor condition, and remediation is considered problematic.</i>
Level 1 rear of 'link structure' – drainage void (from rear boardwalk)	Defect D11 Location of block wall that does not appear to be waterproofed. Corrosion of exposed reinforcement to original wall.	Safe access to undertake repairs is not possible due to the narrow access between the original western wall and newer block wall. Repairs would require construction of a second retaining wall to the west.	<i>BEC agrees that the drainage pit surface level is too high to collect water, likely due to erosion and settlement.</i> <i>BEC also agrees with restrictions on access preventing application of a new waterproofing layer/membrane.</i> <i>BEC considers there is a potential to revisit Option 1 (inject chemical barrier) as a lower cost solution to significantly reduce the water ingress. Whilst Option 2 (internal drainage/water proof barrier) would provide reduced water ingress, it would not protect the block wall from water ingress & further degradation. Option 3 (installation of the new wall) will be problematic and costly due to access constraints.</i> <i>The proposed improvements to the stormwater drainage about the western side of the site will aid in reducing surface stormwater flowing down the hill into the drainage void.</i>
Rear of 'link structure' – drainage void	Defect D12 Failed structural support of electrical cable tray.	Access via under boardwalk.	<i>Sighted temporary strap/fix. Propose fixing the cable tray directly to the board walk structure</i>
Rear of 'link structure' – drainage void	Defect D14 Local support of bearer has been compromised.	Removal of boardwalk.	<i>New post required to support board walk beam.</i>
Rear of 'link structure' – drainage void	Defect D11 Corrosion of reinforcement in original structure.	Safe access is impossible to achieve due to the narrow gap between the original western wall and newer block wall	<i>It appears that a section of the old wall has retaining wall spalled/eroded, exposing reinforcing bars. Access may be achievable via under-side of boardwalk.</i>
Rear of 'link structure' – drainage void	Defect D13 Undermining of original concrete approximately 1.5m above drainage void floor level.	Removal of boardwalk and demolition of remaining pathway. It is likely that better stability or retaining works is necessary.	<i>Undermining sighted.</i> <i>Demolition of boardwalk required to facilitate remediation.</i>

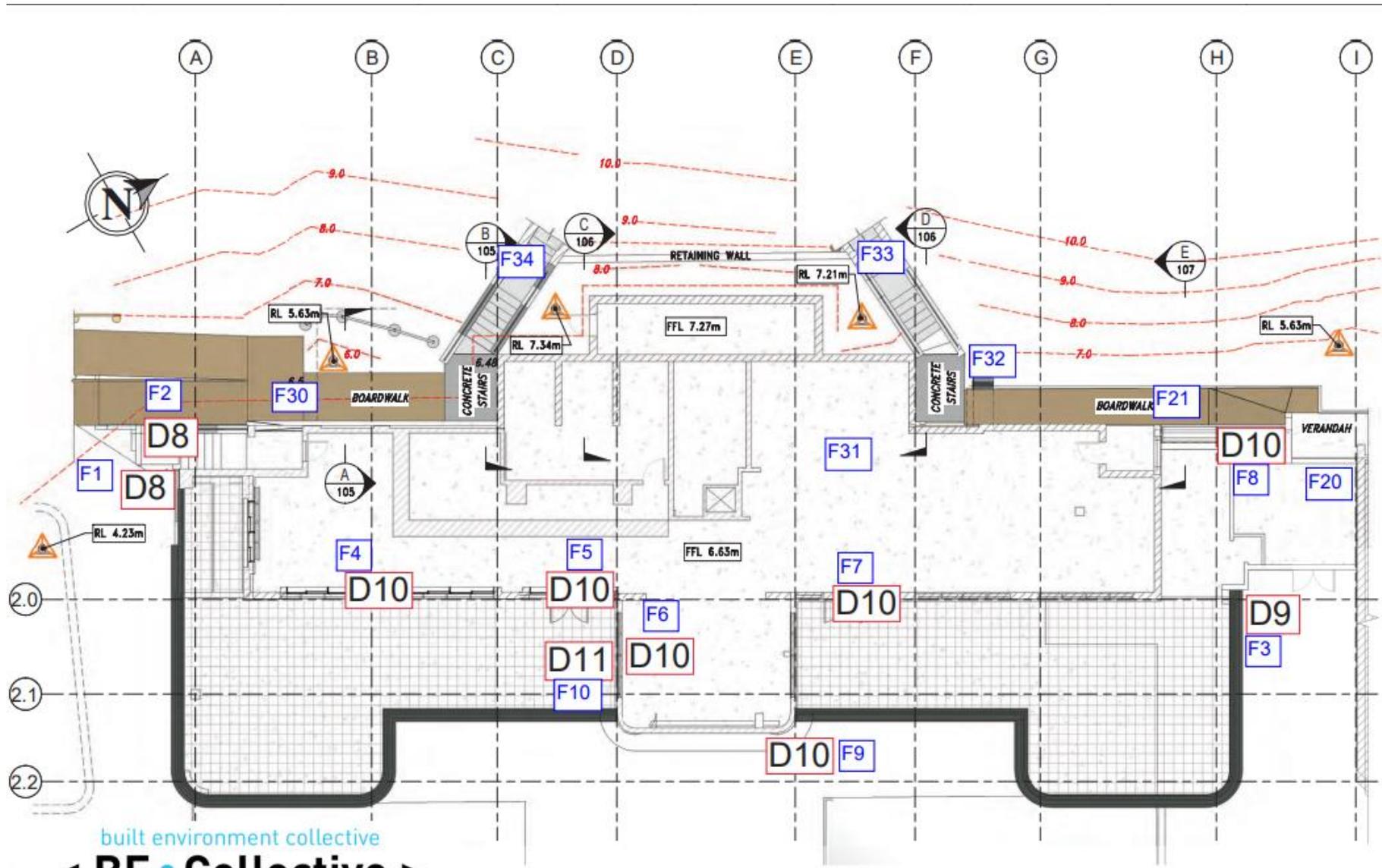
Ground Level link structure - Internal rear wall	Defect D11 Water ingress is evident.	Repairs to internal wall linings will require waterproofing to both box gutter and external wall.	<i>Significant evidence of water ingress. Appears to be from both box gutter over, and the western wall. Box gutter over had ponding/standing water directly above area in question.</i>
--	---	---	--

Table 4: Engineering Inspection 30 January 2020 – Pavilion 1 south west corner (PWD (FSACE Report section 4.3

Defect Noted	Defect ID (FSACE report Section 6)	BEC Comment
Water penetration through façade cracks	D8	<i>BEC sighted. In agreeance with defect identification & proposed repair recommendation.</i>
Water penetration through eastern façade, wind frames and balconies	D10	
Corroded roof elements	D16	
Water penetration through level 1 slab under amenities	D18	
Deteriorated foam awnings	D19	
Water leaks through western wall	D11	
Water leaks around roof penetrations	D16	

Appendix 5B: Defect location markup





built environment collective
< BE • Collective >
 engineered design & management

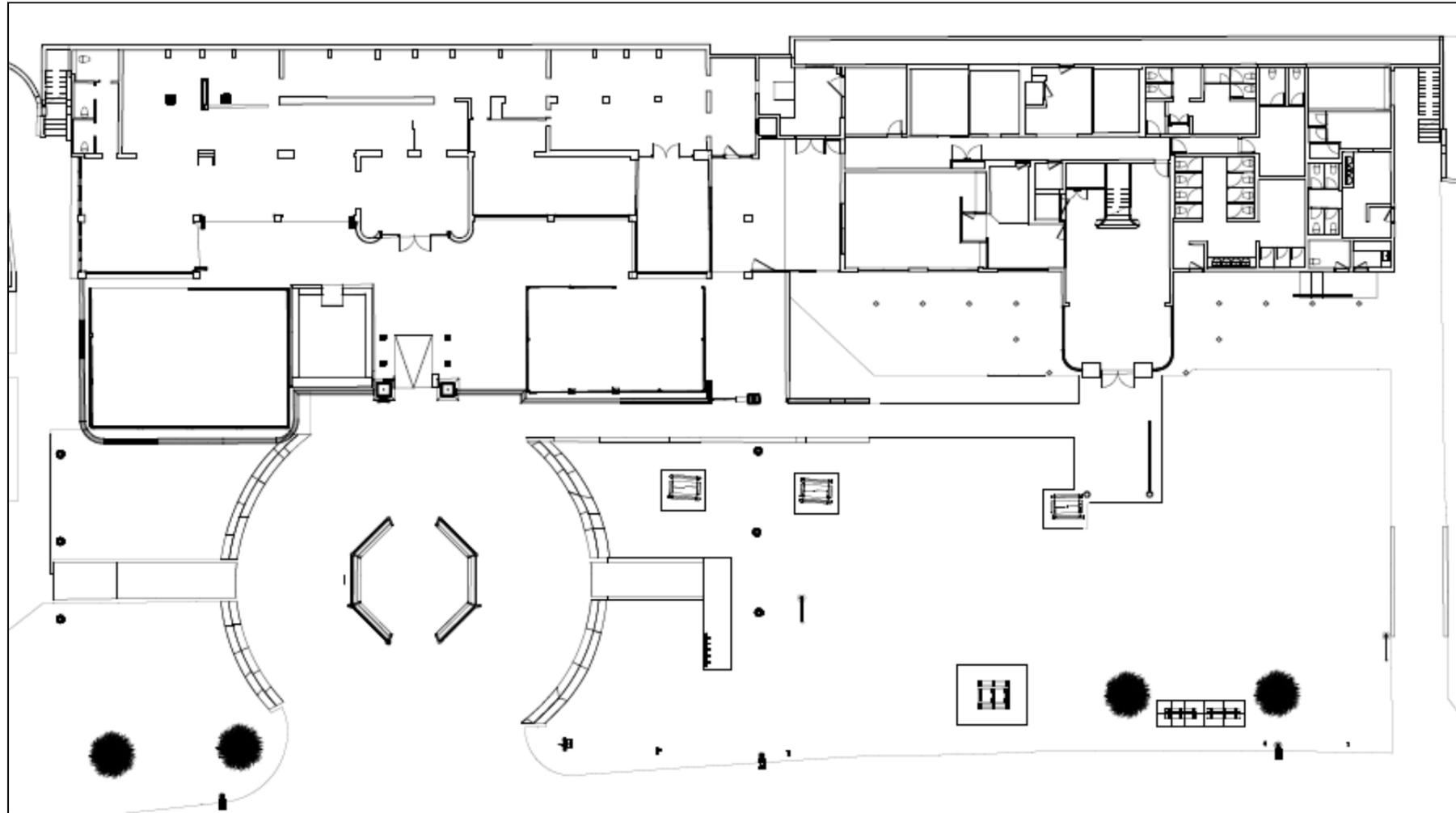
APUD CIVIL ENGINEERING LTD REPORT REFERENCE
 17-03-30396 DATED 29th MARCH 2017

7366-Sutton Beach Pavilion, Redcliffe -
 Structural Condition Audit
 Sited Defect Location Plan

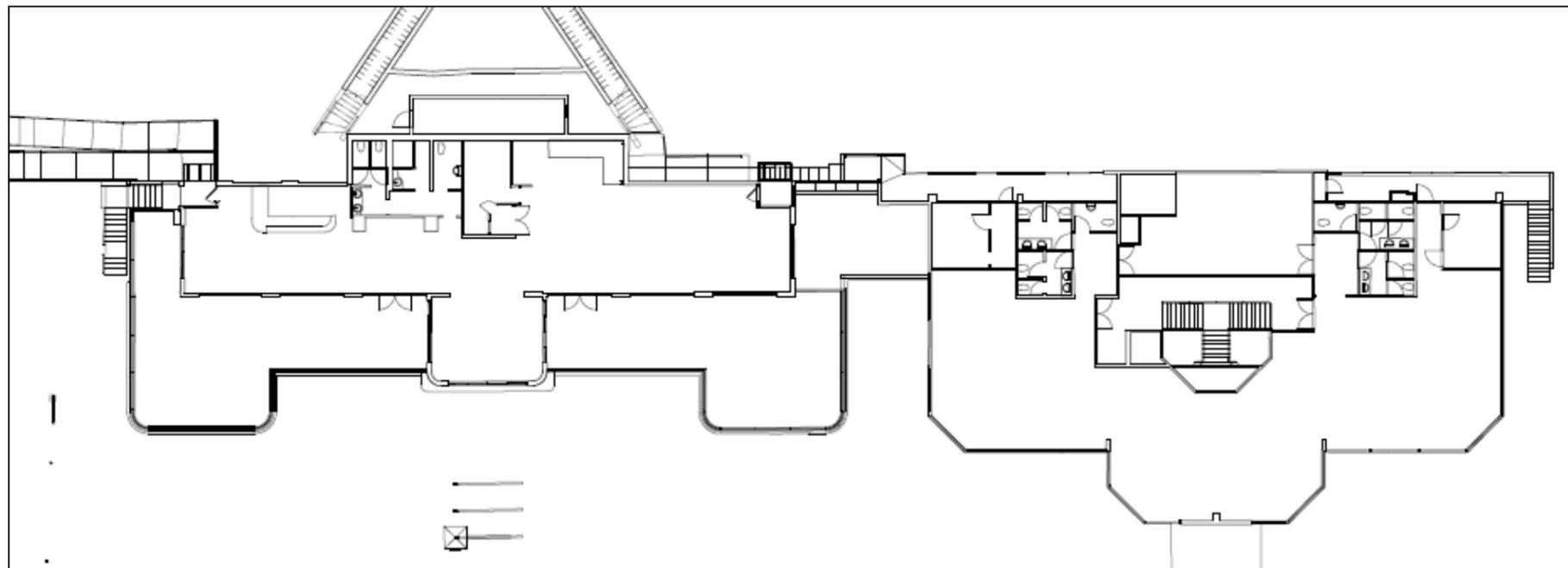
1 PAVILION 1 - FIRST FLOOR (EXISTING)
 104 SCALE: 1 : 150

PRINT IN COLOUR

Appendix 5: Building concepts



GROUND LEVEL PLAN



UPPER LEVEL PLAN

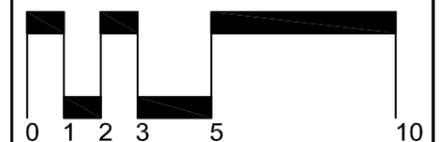


PROJECT

SUTTONS BEACH PAVILION
STRATEGIC ASSESSMENT
AND OPTIONS ANALYSIS

TITLE

OPTION 1
EXISTING FLOOR PLANS
FOR REFURBISHMENT



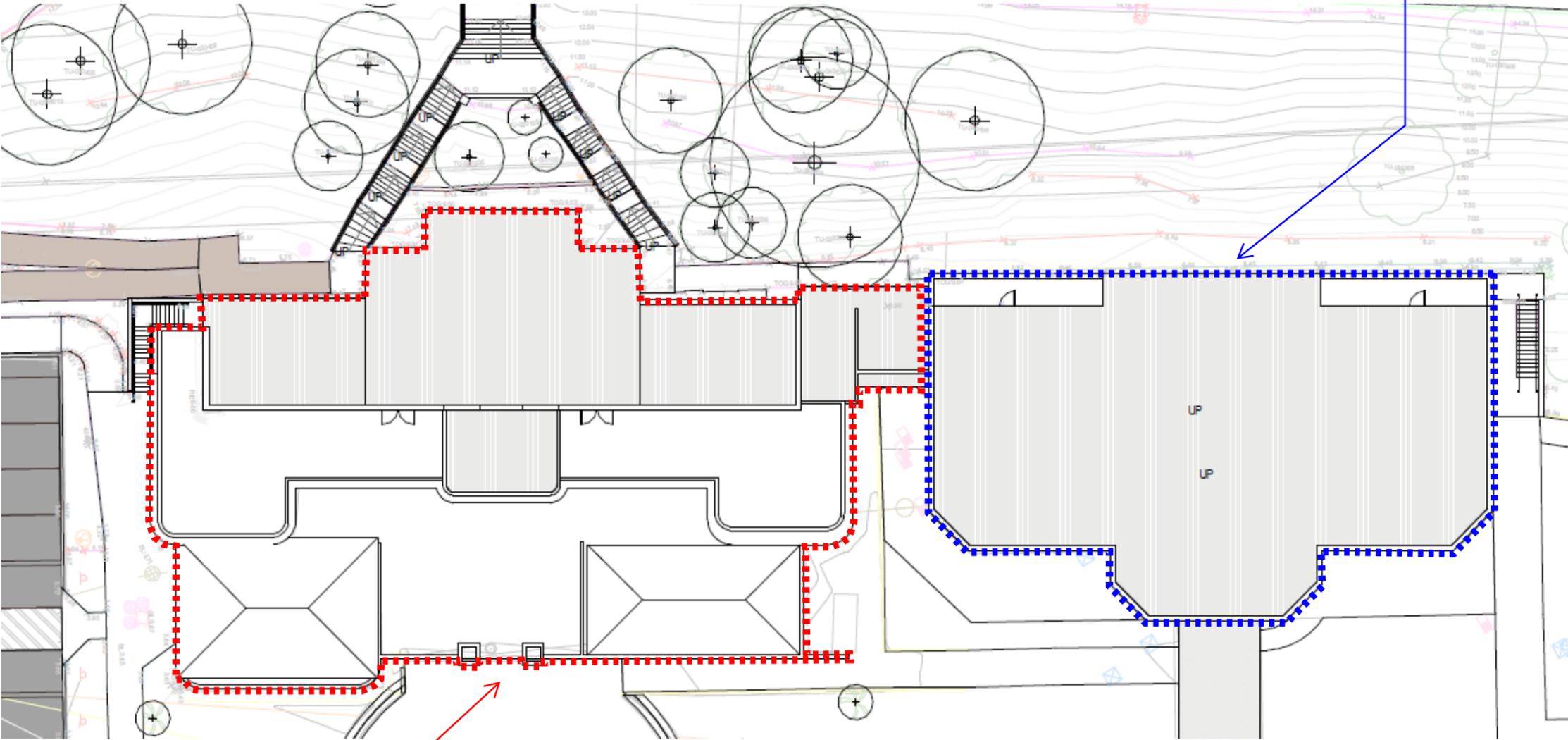
SCALE: 1:350 @ A3 *DO NOT SCALE*

DRAWING NUMBER

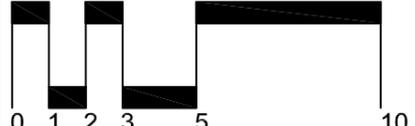
A100

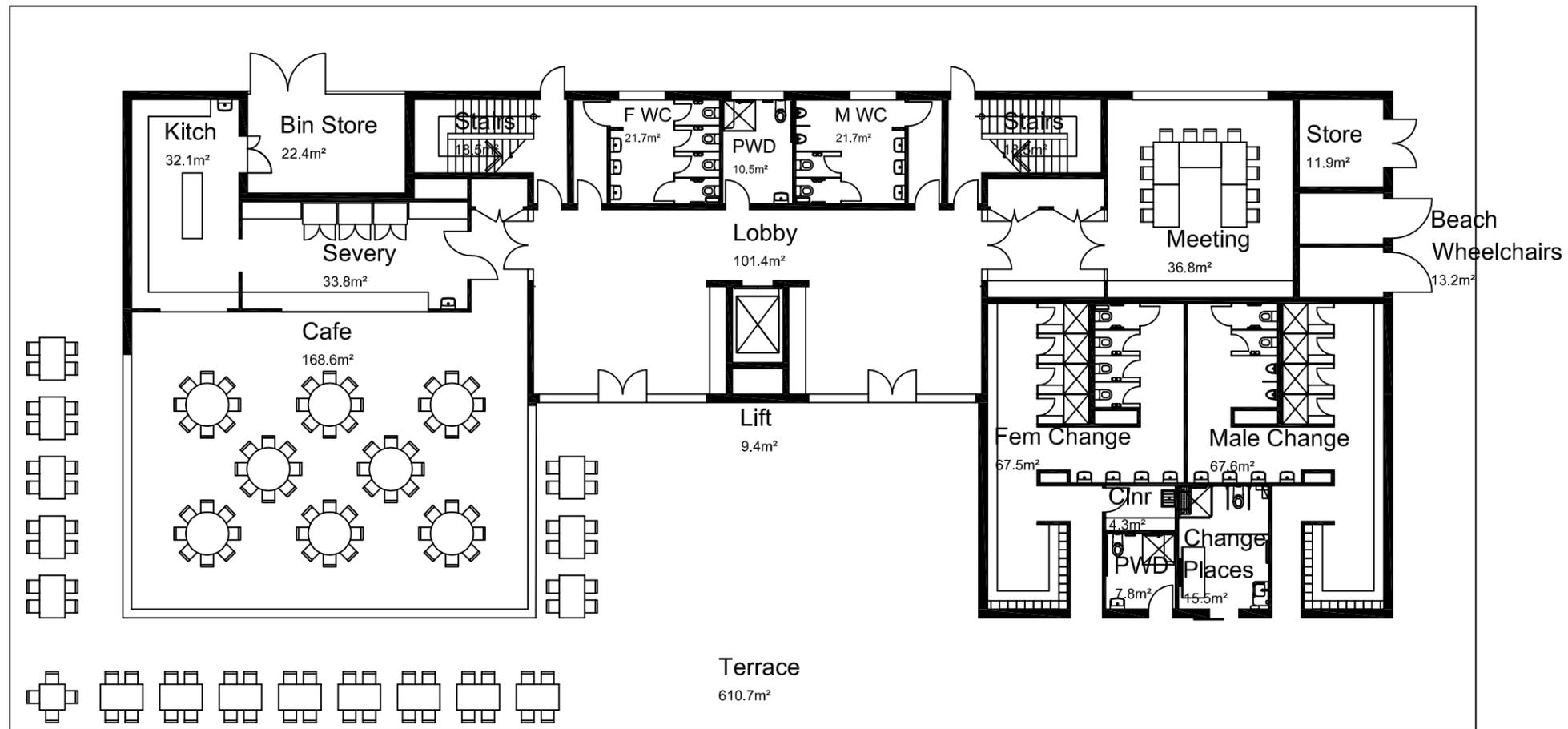
REV

PAVILION 2 TO BE REFURBISHED WITH SAME FUNCTIONALITY AS CURRENT.

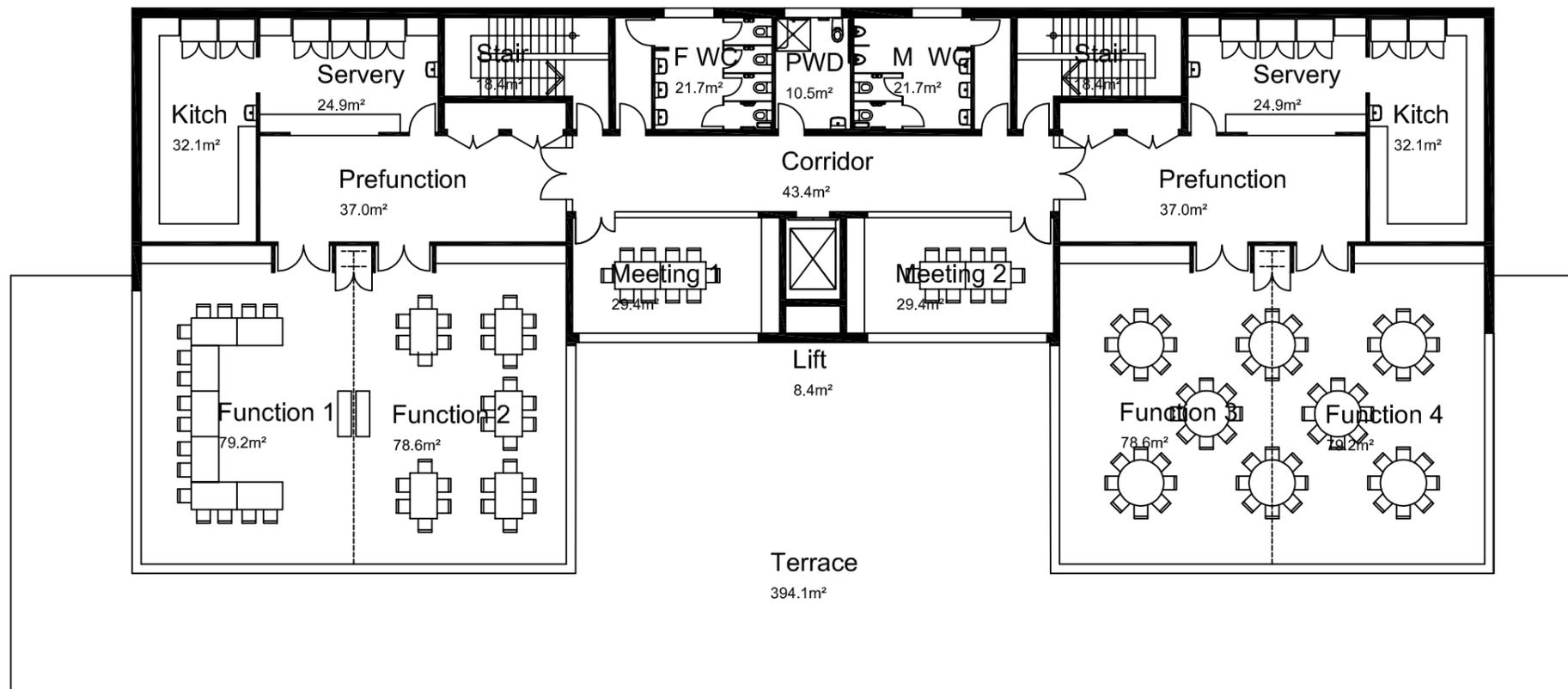


PAVILION 1 AND LINK STRUCTURE TO BE DEMOLISHED AND REBUILT IN SAME STYLE.

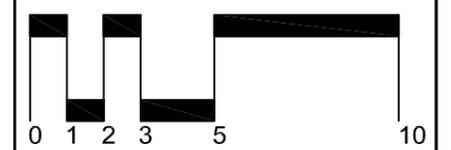
 Moreton Bay Regional Council	
PROJECT SUTTONS BEACH PAVILION STRATEGIC ASSESSMENT AND OPTIONS ANALYSIS	
TITLE OPTION 2 SCOPE OF WORKS SKETCH PLAN	
 0 1 2 3 5 10	
SCALE: 1:300 @ A3 *DO NOT SCALE*	
DRAWING NUMBER A100	REV

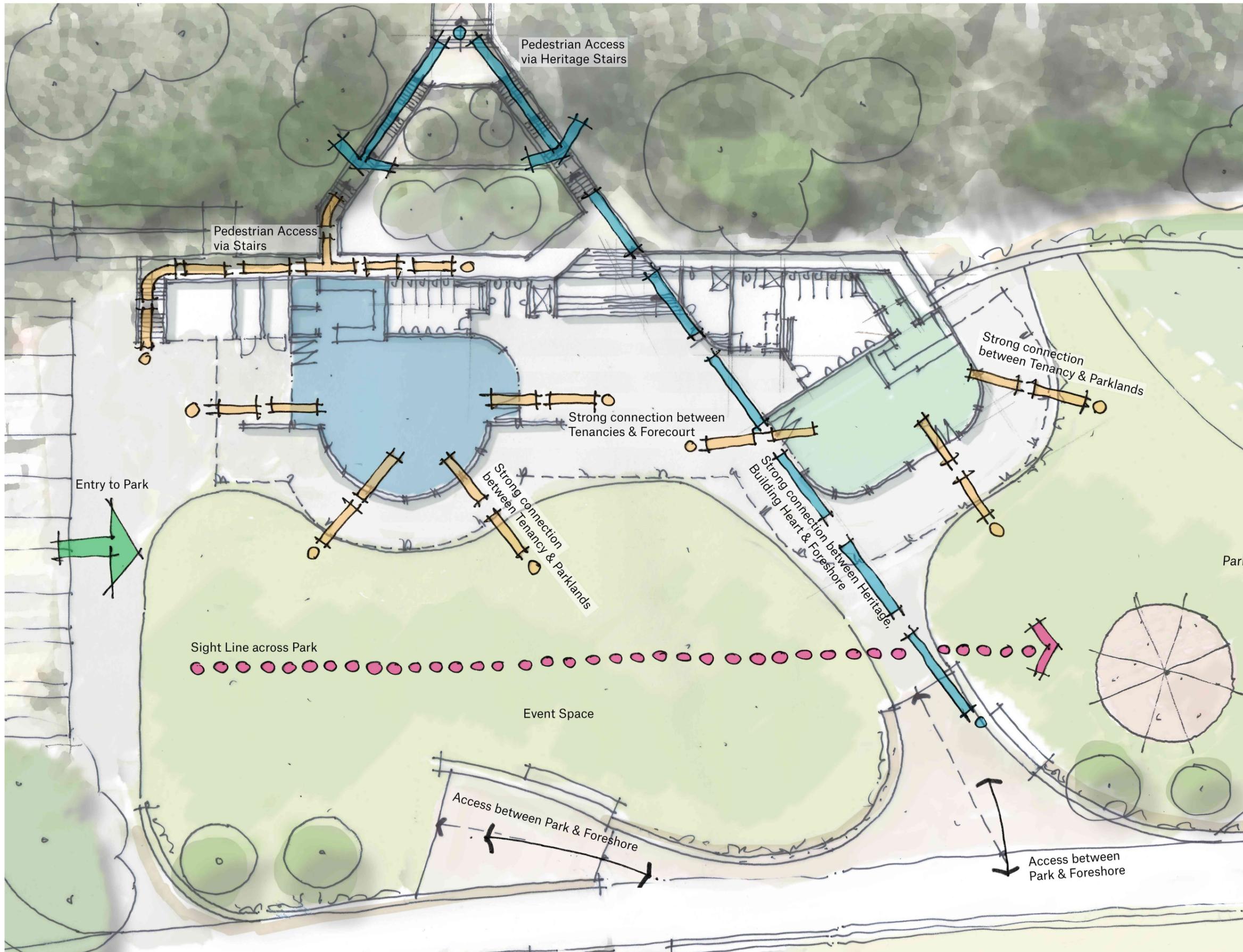


GROUND LEVEL PLAN



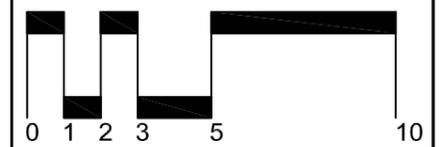
UPPER LEVEL PLAN





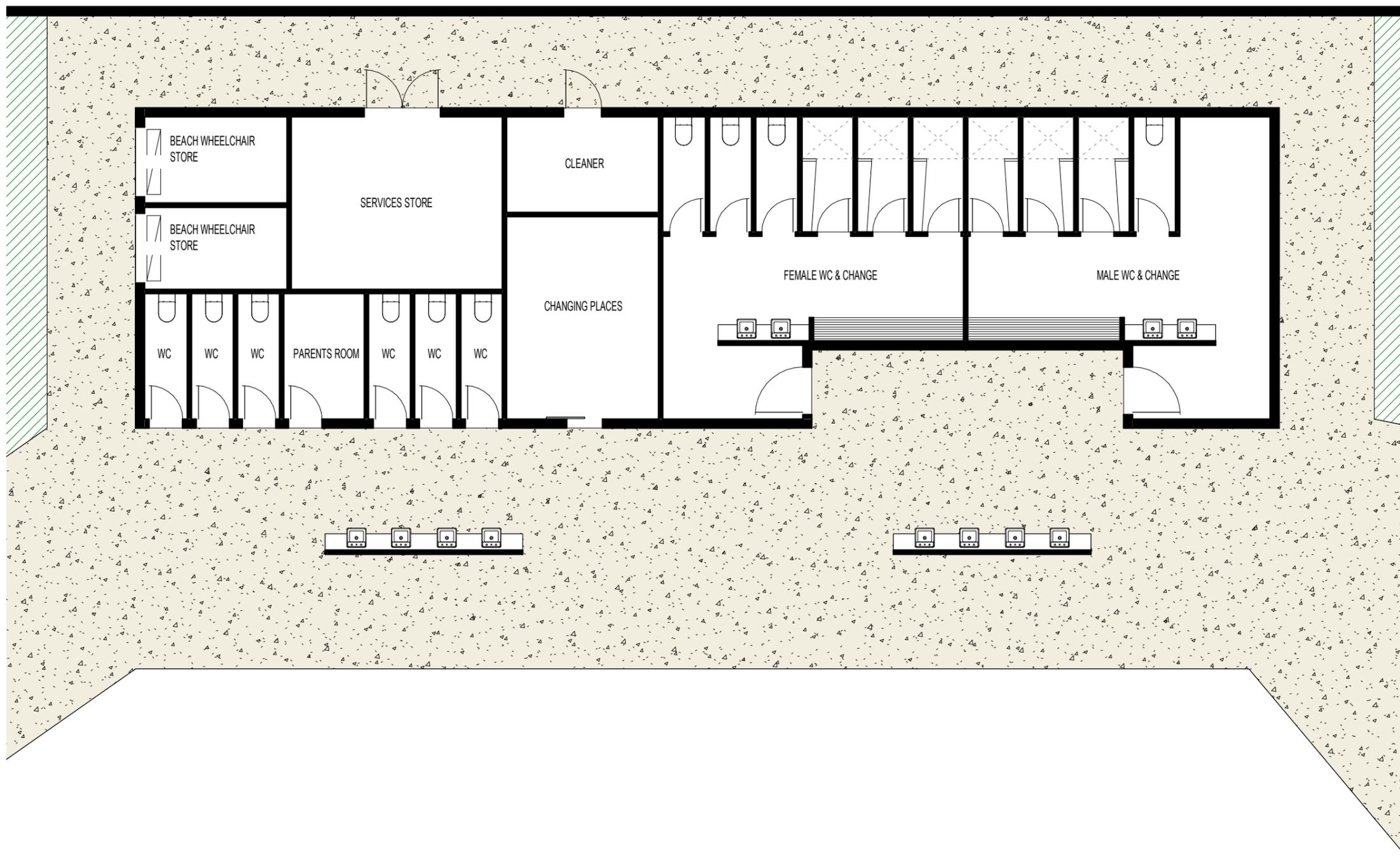
PROJECT
 SUTTONS BEACH PAVILION
 STRATEGIC ASSESSMENT
 AND OPTIONS ANALYSIS

TITLE
 OPTIONS 5 & 6
 CONCEPTUAL
 RELATIONSHIP
 PLAN



SCALE: 1:500 @ A3 *DO NOT SCALE*

DRAWING NUMBER	REV
A100	

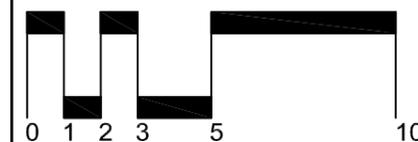


○ PLAN - PUBLIC AMENITIES BLOCK



PROJECT
 SUTTONS BEACH PAVILION
 STRATEGIC ASSESSMENT
 AND OPTIONS ANALYSIS

TITLE
 OPTION 9
 CONCEPTUAL SKETCH
 FLOOR PLAN



SCALE: 1:100 @ A3 * DO NOT SCALE*

DRAWING NUMBER	REV
A100	

Appendix 6: References

Appendix 6: References

Technical Reports

Ivan McDonalds Architects - Former Sutton's Beach Bathing Pavilion Redcliffe • Cultural Heritage Impact Assessment Report

1. Thompson M., MBRC P.P. Presentation - Review of Future Development Options
Date: January 2022
2. Proactive Quantity Surveying (contracted by Covey Associates) - Probable Order of Costs & Whole Of -Life Costs for 3 Options, MBRC Suttons Beach Pavilion
Document: 61263969
Date: 16/08/2021
3. Covey Associates Pty Ltd - Consultancy Structural Engineering Review for Suttons Beach Pavilion 1
Document: Project No: L202718 Report No: 62015RPT
Date: December 2020
4. GHD - Suttons Beach Pavilion 1 - Structural Safety letter
Date: 30/06/2020
5. GHD - Sutton Beach Pavilion 1 -Structural Condition Assessment (P2)
Date: August 2020
6. FSA Consulting Engineers - Structural Engineering Report Relating to Structural Condition Audit at Suttons Beach Pavilion 1
Document: FS1499FL-
SER01 Original issue date: 28/02/2020
Revision: 4
Date: 30/06/2020
7. BE Collective - Sutton Beach Pavilion, Redcliffe • Structural Condition Audit Peer Review
Document: Project No. 7366
Revision: A
Date: 01/05/2020
8. Converge Heritage+ Community - Former Sutton's Beach Bathing Pavilion Conservation Management Plan
Document: Project No.: 20073
Revision: 3
Date: April 2020
9. FSA Consulting Engineers - FS1499FL • MBRC - Suttons Beach Pav - Concrete Beam Defect - Inspection advice email
Date: 23/01/2020
10. Kosar M., MBRC Briefing Note - Suttons Beach Pavilion 1, Water Ingress Rectification Works
Document: A19140775/ID: 22545797
Original issue date: 18/09/2019
Revision: 22
Date: 11/10/2019
11. Kosar M., MBRC P.P. Presentation - Suttons Beach Pavilion 1, Water Ingress Rectification Works
Date: 2019
12. FSA Consulting Engineers - Dewatering Options Analysis Report Relating to Water Ingress Mitigation - Ground Floor at Suttons Beach Pavilion
Document: FS1499BB-CAR-01
Original issue date: 27/06/2019
Revision: 6
Date: 27/09/2019
13. Converge Heritage + Community - Former Suttons Beach Bathing Pavilion Heritage Assessment
Document: 19045
Revision: 1
Date: November 2018

14. FSA Consulting Engineers - Structural Engineering Report Relating to Primary Maintenance Works for Pavilion 1 and Pavilion 2
Document: FS1499BB-SER02
Revision: 1
Date: 9/11/2017
15. FSA Consulting Engineers - Specification and Scope of Works for Moreton Bay Regional Council in Regard to the Refurbishment Works Project for Wet Wall Construction and Associated Works
Document: 17-545-911
Revision: 2
Date: 22/06/2017
16. FSA Consulting Engineers - Permanent Works Project Plan Relating to: Permanent works to address water ingress, Suttons Beach Pavilion
Document: 17-545-901
Original issue date: 16/03/2017
Revision: 5
Date: 08/06/2017
17. Proactive Quantity Surveying - Building Condition assessment for Buildings and Facilities
Document: 63729908
Revision: 1
Date: June 2017
18. Vosloo Consulting Engineers - Contract No. MBRC006125 • Stormwater Drainage Detailed Design for Suttons Beach Pavilion Water Ingress Mitigation Design, Redcliffe Qld - Engineering Opinion Regarding Dismissal of a Pumped Dewatering System at Concept Design Stage--letter
Document: 1701-02
Date: 28/01/2017
19. FSA Consulting Engineers - Structural Defects Report Relating to Water Ingress at Pilpel Restaurant
Document: FS1499BB SER-01
Original issue date: 01/09/2016
Revision: 3
Date: 8/09/2016
20. Stephen Waite Consulting - Sails Restaurant and Function Centre Marine Parade, Defects Inspection Report
Revision: 1
Date: 01/10/2012

Community Survey

Voconiq (2002), Moreton Bay Regional Council - Suttons Beach Public Space Project – Community Survey Findings Report.